

Agenda

Board of Zoning Appeals of Spalding County

Thursday, October 8, 2020

7:00 PM

Room 108, Spalding County Courthouse Annex

A. Call to Order

Note: Persons desiring to speak must sign in for the appropriate application. When called, speakers must state their names and addresses and direct all comments to the Board only. Speakers will be allotted three (3) minutes to speak on their chosen topics and relate to matters pertinent to the jurisdiction of the Board of Zoning Appeals. No questions will be asked by any of the commissioners during citizen comments. Outbursts from the audience will not be tolerated. Common courtesy and civility are expected at all times during the meeting.

B. New Business:

1. **Application #20-16V:** Baz Brothers Productions, LLC, Owner - 207 Winding Lane (5.47 acres located in Land Lot 72 of the 2nd Land District) - requesting a Variance from roof pitch requirements in the AR-1 District.
2. **Application #20-17V:** JTS Properties, LLC, Owner - Keith Kenney, Agent - 1016 Rehoboth Church Road (68.67 acres located in Land Lot(s) 73 & 74 of the 3rd Land District) - requesting a Variance from front yard setback in the AR-1 District.
3. **Application #20-18S:** Congregational Holiness Church, Owner - Anna York, Agent - 47 Mission Circle (32.68 acres, more or less, located in Land Lot 81 of the 4th Land District) - requesting a Special Exception to allow a Church, synagogue, chapel, or other place of religious worship including educational buildings, parsonage, church-related nursery or kindergarten, and other related uses meeting the development standards in the AR-1 & R-2 District.
4. **Application #20-19S:** First Assembly of God, Griffin, Ga., Inc, Owner - Cheryl Fields, Agent - 2000 West McIntosh Road (92.043 acres located in Land Lot(s) 66, 67, 94 & 95 of the 3rd Land District) - requesting a Special Exception to allow a Church, synagogue, chapel, or other place of religious worship including educational buildings, parsonage, church-related nursery or kindergarten, and other related uses meeting development standards in the R-2 District.

C. Approval of Minutes:

5. Consider approval of September 10, 2020 minutes.

D. Other Business:

E. Adjournment



SPALDING COUNTY BOARD OF ZONING APPEALS

Application #20-16V

Requesting Agency

Office of Community Development

Requested Action

Application #20-16V: Baz Brothers Productions, LLC, Owner - 207 Winding Lane (5.47 acres located in Land Lot 72 of the 2nd Land District) - requesting a Variance from roof pitch requirements in the AR-1 District.

Requirement for Board Action

Article 4. Section 411.

Is this Item Goal Related?

No

Summary and Background

The applicant is requesting a permit to construct a private, single-family residence. The architectural style of the house is modern and it has a flat roof over most of the house, and some roof sections with a 1:12 pitch, reminiscent of the Prairie Style architecture popularized by Frank Lloyd Wright.

Fiscal Impact / Funding Source

STAFF RECOMMENDATION

CONDITIONAL APPROVAL as follows:

- 1. All aspects of the construction shall conform to the house plans submitted with the application package.**
- 2. An approved building permit is required.**

ATTACHMENTS:

Description	Upload Date	Type
<input type="checkbox"/> Application #20-16V	10/1/2020	Backup Material



REQUEST FOR VARIANCE

APPLICATION NO. 20-16V

AGENT/DEVELOPER INFORMATION

(If not owner)

Name: _____

Address: _____

City: _____

State: _____ Zip: _____

Phone: _____

Contact Person: _____

PROPERTY OWNER INFORMATION

Baz Brothers Production, LLC

Name: Jeff E. Bazile

Address: 207 Winding Lane

City: Locust Grove

State: GA Zip: 30248

Phone: 678 724 0260

Phone: _____

APPLICANT IS THE:

Owner's Agent

☒
Property Owner

Developer

Land District(s): 02

Land Lot(s): 72

Acreage: 5.47

Address of Property: 207 Winding Lane, Griffin, GA 30223

Identify the existing district requirement(s) for which you seek a Variance: Sec. 203.A.2

Conventional Construction: The pitch of the dwelling unit's roof has a minimum vertical rise of four (4) feet for each twelve (12) feet of horizontal run...

State what you propose the district requirement(s) be varied to: Requesting that the roof pitch requirements be varied to allow a flat roof over most of the house with some portions of the roof having a 1:12 pitch, as shown in the attached plans.

2020-1-10-1

Describe what use is proposed and the reason that a Variance is required: The proposed use is for a private, single-family residence. The architectural style of the house is modern and it has a flat roof and some roof sections with a 1:12 pitch, reminiscent of Prairie Style architecture that was made famous by Frank Lloyd Wright.

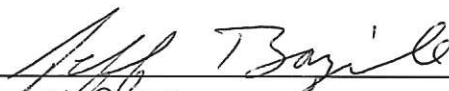
OTHER REQUIRED INFORMATION

Please attach 1 copy (11 x 17) of plat prepared by a Registered Land Surveyor and drawn to scale showing lot lines and location of existing structures and location of proposed structures.

Please attach a deed, certified by the Clerk of Court, which includes a metes and bounds description of the property proposed.

Signature(s):

Agent/Developer


Property Owner

Date

8-15-2020
Date

OFFICE USE ONLY

Date Received: C. McDaniel

Amount of Fee: \$300.00

Received By: 043873

Receipt Number: 043873

**MEMORANDUM OF UNDERSTANDING
CONCERNING VARIANCES**

Section 411: Variances.

- A. A Variance is a permit, issued by the Board of Appeals, which allows use of a parcel of land in a way that varies from requirements for the district in which the property is located. A Variance may be granted only in an individual case where a hardship would result if all of the requirements of this Ordinance were applied stringently to a particular piece of property. A hardship means that reasonable use of the land is not possible, if all of the requirements of this Ordinance are to be met. The hardship cannot be self-created such as:
1. A lot purchased with knowledge of an existing restriction.
 2. A claim of hardship in terms of prospective sales.
 3. An expressed economic need requiring a Variance, when such a need can be met in other ways, which would not require a Variance.
- B. Relief from the hardship—the Variance—must not cause substantial detriment to the public good or impair the purposes of this Ordinance.
- C. When a Variance is issued, the spirit of this Ordinance must be observed and the public safety and welfare secured. A Variance may be granted *only* for permitted uses in the zoning district in which the property in questions is located. (For example, a two-family dwelling would not be allowed to be placed in an R-1 district under a Variance).

I hereby certify that I have read the above statements and understand fully the basis for the Board of Appeals to grant a variance.

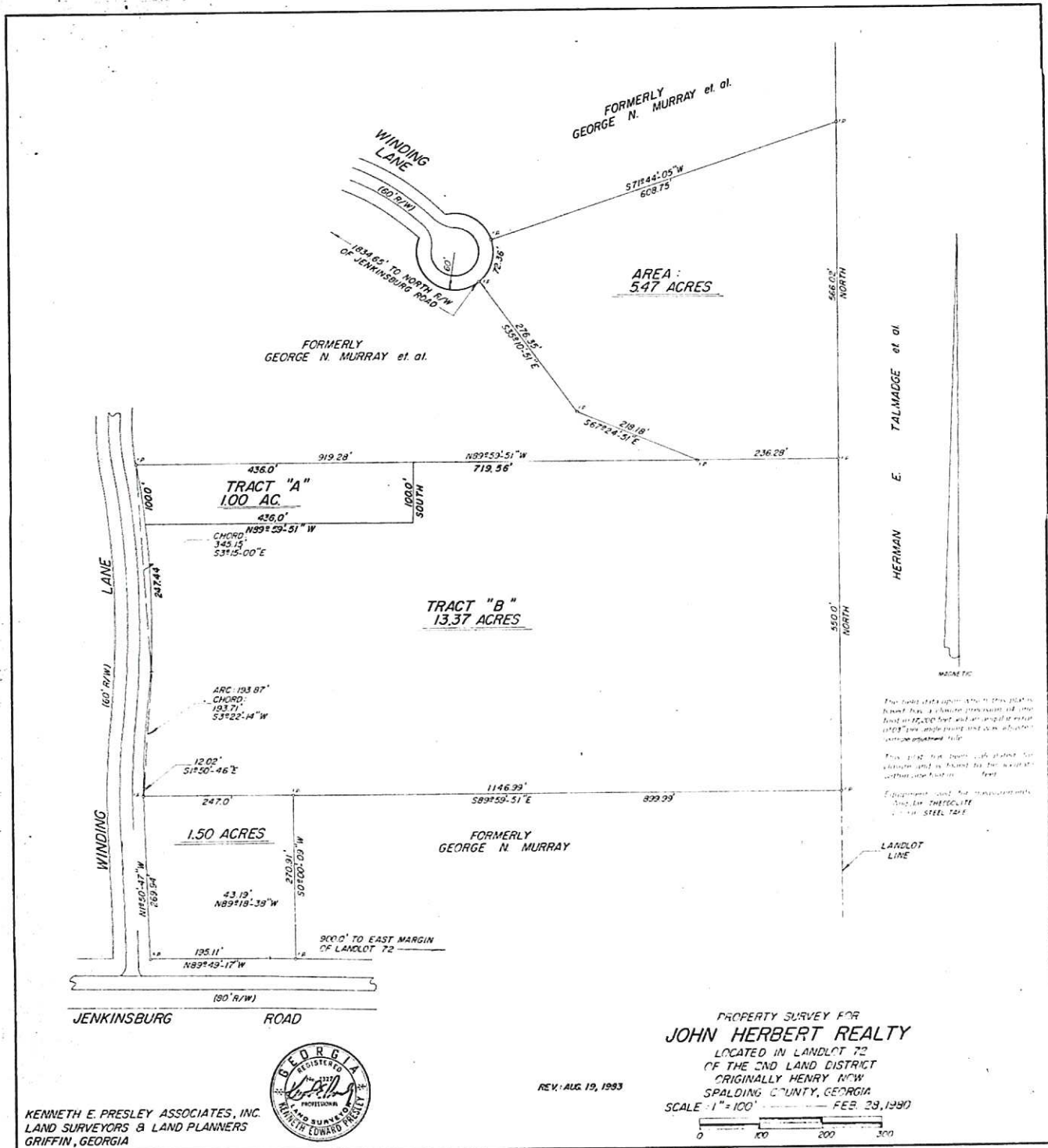
Applicant Signature


Witness 

Date 8-15-2020

Date 8-15-2020

Application No. 20-16V



Property of John Herbert Realty

John L. Anderson

Recorded Sept 9, 1985

15/51

9-9-83

Record and return to:
A. Reid Turner, III
PO Box 932
Griffin, GA 30224

BOOK 4421 PAGE 87

Real Estate Transfer Tax
Paid \$ 21.00
Date 6-5-19
PT - 61 126 - 2019-1500

Debbie L. Brooks
Clerk of Superior Court

FILED & RECORDED
CLERK, SUPERIOR COURT
SPALDING COUNTY, GA.

2019 JUN -5 P 1:45

BY DB
DEBBIE L. BROOKS, CLERK

WARRANTY DEED

STATE OF GEORGIA
COUNTY OF SPALDING

THIS INDENTURE, made the 5th day of June, 2019, between JOHN T. NEWTON, JR., RICHARD L. MULLINS and JUDITH B. FORIO, of the State of Georgia, as party or parties of the first part, Grantor, and BAZ BROTHERS PRODUCTION, LLC, of the State of Georgia, as party or parties of the second part, Grantee. ("Grantor" and "Grantee" to include their respective heirs, successors, executors, administrators, legal representatives and assigns where the context requires or permits.)

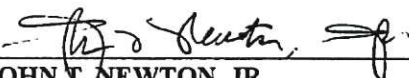
WITNESSETH, that the said Grantor, for and in consideration of TEN DOLLARS AND OTHER VALUABLE CONSIDERATION in hand paid at and before the sealing and delivery of these presents, the receipt and sufficiency whereof is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the Grantee, to wit:

All that lot, tract or parcel of land situate, lying and being in Land Lot 72 of 2nd Land District of originally Henry, now Spalding County, Georgia, being more particularly shown and designated as "AREA: 5.47 ACRES" as shown on a plat of survey entitled "Property Survey for John Herbert Realty", prepared by Kenneth E. Presley Associates, Inc., dated February 28, 1980, revised August 19, 1983, recorded in Plat Book 15, Page 51, Spalding County Superior Court records, which said plat is incorporated herein and made a part of this legal description.

TO HAVE AND TO HOLD the said premises, together with all rights and appurtenances unto the said Grantee, forever in FEE SIMPLE, and the said Grantor warrants the title to same against the lawful claims of all persons whomsoever.


Wherever there is a reference herein to the Grantor and Grantee, the singular includes the plural and the masculine includes the feminine and the neuter, and said terms include and bind the heirs, executors, administrators, successors and assigns of the parties hereto.

In witness whereof, the Grantor has hereunto set his hand and affixed his seal the day and year above written.

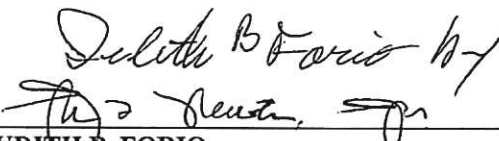
 (Seal)
JOHN T. NEWTON, JR.

[SEE PAGE 2 FOR CONTINUATION OF SIGNATURES]

[CONTINUATION OF SIGNATURES]



RICHARD L. MULLINS (Seal)
By John T. Newton, Jr., his Attorney-in-Fact

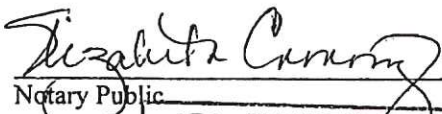


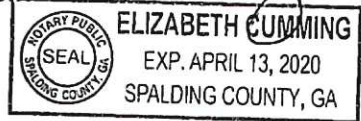
JUDITH B. FORIO (Seal)
By John T. Newton, Jr., Her Attorney-in-Fact

Signed, sealed and delivered in the presence of:



Witness



Notary Public


Bazile Residence

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4.1	FRONT & RIGHT ELEVATIONS
4.2	LEFT & REAR ELEVATIONS
5.1	BASEMENT ELECTRICAL PLAN
5.2	FIRST FLOOR ELECTRICAL PLAN
CD-1.0	CONSTRUCTION DETAILS - SLAB, FOOTINGS
CD-1.1	CONSTRUCTION DETAILS - FRAMING
CD-1.2	CONSTRUCTION DETAILS - FRAMING
CD-1.3	CONSTRUCTION DETAILS - WINDOWS
	DECK DETAILS

PLAN REVISIONS SCHEDULE		
REV DATE	SHEETS AFFECTED	DESCRIPTION OF CHANGES
-	-	-

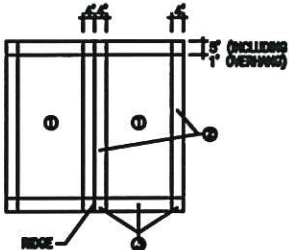
FRAMING NOTES

- FRAMING LUMBER:
 - 2x4 SILL PLATES SHALL BE HEM-FR SIKKAND OR BETTER. ALL FOUNDATION SILL PLATES SHALL BE TREATED WOOD.
 - INTERIOR BEAMING AND ALL EXTERIOR 2x4 WALL STUDS SHALL BE HEM-FR "STUD" GRADE OR BETTER.
 - JOISTS, RAFTERS, 2x6 WALL STUDS, AND 2x6 PLATES SHALL BE HEM-FR #2 AND BETTER UNLESS NOTED OTHERWISE. FLOOR JOISTS OVER 14'-0" LONG SHALL BE DOUGLAS FIR-LARCH OR BETTER, UNLESS NOTED OTHERWISE.
- PROVIDE MIN. 2-2x10 HEADER OVER ALL EXTERIOR AND LOAD BEARING DOOR AND WINDOW OPENINGS UNLESS NOTED OTHERWISE. NO HEADER REQUIRED AT OPENINGS FOR INTERIOR NON-BEARING WALLS.
- PROVIDE MIN. 1-2x TIMBER POST & 1-2x KING STUD UNDER EA. END OF ALL BEAMS AND HEADERS UNLESS NOTED OTHERWISE.
- LAMINATED VENEER LUMBER (LVL) SHALL BE PROVIDED WITH THE FOLLOWING MINIMUM DESIGN UNIT STRENGTHS:
 - FLEXURAL STRENGTH: 2800 PSI (MIN.)
 - HORIZ. SHEAR PERP. TO GLUE LINE: 300 PSI
 - COMPRESSION PERP. TO GRN: 3000 PSI
 - PARALLEL W/GRAIN: 2800 PSI
 - MODULUS OF ELASTICITY: 1,800,000 PSI
- PRE-ENGINEERED TRUSSES SHALL BE DESIGNED AND FABRICATED UNDER THE SUPERVISION OF A COLORADO LICENSED PROFESSIONAL STRUCTURAL ENGINEER FOR THE LOADS AND CONDITIONS SPECIFIED ON DRAWINGS. STRUCTURAL ENGINEER OF RECORD TO REVIEW TRUSS SHOP DRAWINGS PRIOR TO THE START OF CONSTRUCTION.
- PLYWOOD SHALL CONFORM TO AMERICAN PLYWOOD ASSOCIATION'S CURRENT PRODUCT SPECIFICATION AND SHALL BE PERFORMANCE RATED BY THE AMERICAN PLYWOOD ASSOCIATION TO THE GRADES SPECIFIED.
 - ROOF SHEATHING SHALL BE 7/16" OSB U.O.M. APA 24/18, EXPOSURE 1 RATED. NAIL AS FOLLOWS:

ZONE 1: 8D NAILS 6" O.C. AT PANEL EDGES
8D NAILS 6" O.C. AT PANEL FIELD

ZONE 2: 8D NAILS 6" O.C. AT PANEL EDGES
8D NAILS 6" O.C. AT PANEL FIELD

ZONE 3: 8D NAILS 6" O.C. AT PANEL EDGES
8D NAILS 6" O.C. AT PANEL FIELD
 - FLOOR SHEATHING SHALL BE 3/4" APA 48/24, EXPOSURE 1 RATED, TONGUE AND GROOVE PLYWOOD, OR "OSB" EQUIVALENT. GLUE & NAIL WITH 8D NAIL SHANK NAILS 6" O.C. AT ALL PANEL EDGES AND 10" O.C. AT INTERMEDIATE FRAMING.
- EXTERIOR WALL SHEATHING SHALL BE 7/16" APA RATED PLYWOOD OR "OSB" SHEATHING, EXPOSURE 1, ATTACHED WITH 8D NAILS 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS, UNLESS OTHERWISE NOTED ON FRAMING PLANS OR SHEET WALL PLANS.
- PROVIDE RIM JOIST OR SOLID BLOCKING UNDER ALL BEARING POINTS, BLOCKING UNDER POSTS LARGER THAN 2-2x4s MUST BE FULL AREA OF POST. PROVIDE BLOCKING AT RIDGES, TIPS AND VALLEYS.
- METAL CONNECTORS SPECIFIED ON DRAWINGS TO BE "SIMPSON" STRONG-TIE OR EQUAL.
- ALL TRUSSES AND ROOF RAFTERS TO BE TIED TO BEAMING WITH ONE (1) SIMPSON HLB HURRICANE CLIP OR EQUAL. ONE (1) SIMPSON H7 OR EQUAL AT ALL GIRT TRUSSES, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS & INTERIOR BEARING WALLS TO BE FRAMED 6" O.C. WITH DOUBLE TOP & SINGLE BOTTOM PLATES, UNLESS OTHERWISE NOTED.
- MULTIPLE MEMBERS AND ALL LAMINATED VENEER LUMBER SHALL BE GLUED AND Nailed TOGETHER. NAILS TO BE 2 ROWS 16d NAILS 6" O.C. EA. FACE (STAGGER), UNLESS NOTED OTHERWISE.
- JOIST FRAMING FROM OPPOSITE SIDES OF A DROPPED BEAM SHALL LAP AT LEAST 12" O.C. EXCEPT AS NOTED. NAIL W/2 ROWS - 16d NAILS 6" O.C. (MIN. 6 NAILS).
- SILL PLATE ANCHORAGE: PROVIDE 1/2" DIA. x 10" LONG A307 ANCHOR BOLTS @ MIN. 4'-0" O.C. EMBED 7" UNO. MINIMUM OF 2 BOLTS PER PIECE. LOCATE ONE BOLT WITHIN 12" OF EACH END (6" MIN FROM EA. END) OF EACH PIECE OF SILL PLATE.
- ADJUSTABLE STEEL COLUMNS SHALL PROVIDE 1" TO 3" OF ADJUSTMENT.
- BEAMS SUPPORTED ON CONCRETE SHALL NOT HAVE LESS THAN 3" OF BEARING. GROUT ALL BEAM POCKETS.
- ALL FIREBLOCKING AND FIRESTOPPING TO BE DONE IN CONFORMANCE W/CURRENT BUILDING CODE IN USE.



DESIGN LOADS

INTERIOR FLOORS: 40 PSF LIVE
10 PSF DEAD
EXTERIOR DECKS: 40 PSF LIVE
5 PSF DEAD
ROOF: 20 PSF SNOW
15 PSF DEAD
*DRIFTING LOAD AS REQUIRED.
WIND: 30 MPH
EXP. 'C'
SEISMIC ZONE 1

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND RESTRICTIONS.
- ALL FUTURE EMBELEM CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND RESTRICTIONS.
- ALL DIMENSIONS ARE STUD TO STUD OR STUD TO BRICK. ALL STUD WALLS NOT DIMENSIONED ARE 3 1/2" THICK.
- STRUCTURAL DRAWINGS ARE AS PROVIDED BY STRUCTURAL ENGINEER. REPORT ANY DISCREPANCIES BETWEEN STRUCTURAL AND ARCHITECTURAL DRAWINGS TO ARCHITECT.
- EXHAUST FANS SHALL VENT TO THE EXTERIOR.
- ALL CRAWL SPACES, ATTICS AND ENCLOSED RAFTER SPACES SHALL BE PROVIDED WITH CROSS VENTILATION PER LOCAL CODES.
- IF EMBELEM FLOOR IS STRUCTURAL, THEN VENTILATE CRAWLSPACE W/ (1) 3 1/4"x10" VENTS UP SIDE OF WALL AND OUT RIM JOIST AND (1) 6" ROUND VENT WITH HANDSOME IN SAME APPLICATION LOCATED THROUGHOUT ENTIRE CRAWLSPACE. SYSTEM SHALL BE CAPABLE OF A MINIMUM OF 2 AIR EXCHANGES PER HOUR.
- ALL FUEL CONSUMING APPLIANCES SHALL RECEIVE COMBUSTION AIR FROM AN EXTERIOR AIR SUPPLY.
- CLOTHES DRYER TO BE PROVIDED WITH 4" DIA. DIAMETER MOISTURE EXHAUST DUCT THAT VENTS TO THE EXTERIOR AND TERMINATES IN A BACK-DRAFT DAMPER (14"-6" MINIMUM DUCT LENGTH, INCLUDING TWO 90 DEGREE ELBOWS).
- ALL FOUNDATION SILL PLATES SHALL BE OF TREATED LUMBER AND SHALL BE BOLTED TO THE FOUNDATION WITH NOT LESS THAN 1/2" DIAMETER STEEL BOLTS EMBEDDED NOT LESS THAN 7" INTO THE CONCRETE. PROVIDE AT LEAST 2 ANCHOR BOLTS FOR EACH SILL PLATE WITH A MINIMUM SPACING OF 4'-0" O.C. LOCATED W/IN 12" OF PLATE ENDS (VERIFY ANCHOR BOLT SIZE AND SPACING WITH ENGINEERED FOUNDATION DRAWINGS).
- WOOD USED IN CONSTRUCTION OF PERMANENT STRUCTURES AND LOCATED NEARER THAN 8 INCHES TO EARTH SHALL BE TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY AS DEFINED BY THE LOCAL BUILDING CODE. WHERE LOCATED ON CONCRETE SLABS PLACED ON EARTH, WOOD SHALL BE TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY, WHERE NOT SUBJECT TO WATER SPLASH OR TO EXTERIOR MOISTURE AND LOCATED ON CONCRETE HAVING A MINIMUM THICKNESS OF 3 INCHES WITH AN IMPERVIOUS MEMBRANE INSTALLED BETWEEN CONCRETE AND EARTH, THE WOOD MAY BE UNTREATED AND OF ANY SPECIES.
- WALL FINISH @ BORN LOCATIONS TO BE WATER RESISTANT WALLBOARD (GEEBBOARD).
- FINISH SHOWER WALLS W/ A HARD, NON-ABSORBENT SURFACE TO A HEIGHT OF 70" ABOVE DRAIN INLET. SHOWER OPENING WIDTH SHALL BE 22" MIN. HINGED SHOWER DOORS WILL OPEN OUT.
- FACE BRICK W/ BRICK TIES @ 16" O.C. HORIZONTAL AND VERTICAL. ATTACH BRICK TIES TO STUDS. ATTACH 15# FELT TO SHEATHING BEHIND BRICK @ ALL BRICK LOCATIONS.
- THE SMOKE DETECTORS ON THE FIRST AND SECOND FLOORS SHOULD BE INTERCONNECTED WITH EACH OTHER AND WITH THE DETECTOR IN THE EMBELEM.
- ALL BORN OUTLETS, CHANGE OUTLETS, EXTERIOR OUTLETS, ALL OUTLETS WITHIN 6'-0" OF THE KITCHEN SINK AND OUTLETS IN AN UNFINISHED EMBELEM SHALL BE ON G.F.I. CIRCUITS.
- ALL DOWNPOUTS SHALL HAVE EXTENSIONS CUT 4'-0" MINIMUM. ALL HOLE RIMS SHALL HAVE SPLASH BLOCKS CUT 3'-0" MINIMUM (VERIFY MINIMUM DIMENSIONS WITH SOLS REPORT).
- FIELD VERIFY ALL NON-RECTANGULAR WINDOW UNITS THAT STACK DIRECTLY ABOVE DOORS.
- GLAZING IN HAZARDOUS LOCATIONS, AS DEFINED BY THE LOCAL BUILDING CODE, SHALL HAVE SAFETY GLAZING THAT COMPLES WITH THE REQUIREMENTS OF THAT CODE. SUCH AREAS INCLUDE, BUT ARE NOT LIMITED TO: GLAZING IN EGRESS AND EGRESS DOORS, GLAZING IN DOORS AND ENCLOSURES FOR BATHS AND SHOWER COMPARTMENTS, GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A FINISH SURFACE AND DRAIN INLET. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FINISH SURFACE. AND ADDITIONAL HAZARDOUS LOCATIONS AS DEFINED BY THE LOCAL BUILDING CODE.
- MINIMUM SILL HEIGHT FOR AN EGRESS WINDOW IS 44" ABOVE FINISHED FLOOR. SHALL BE AT LEAST ONE EGRESS WINDOW WITH 5.7 SQ.FT. CLEAR OPENING IN ALL HABITABLE ROOMS.
- AWNINGS LOCATED AT AN EGRESS WINDOW SHALL HAVE A MIN. HORIZ. DEPTH OF 36" AND A MAX. VERT. DEPTH OF 44" FROM FINISHED BOTTOM TO TOP OF AWNING. IF VERT. DEPTH EXCEEDS 44" THEN A PERMANENTLY AFFIXED LADDER MUST BE PROVIDED IN ACCORDANCE WITH THE LOCAL BUILDING CODE.
- CHANGES IN ELEVATIONS AT DOORS DUE TO LANDINGS OR TERMINATION OF STAIRS, SHOULD BE MEASURED FROM THE TOP OF THE DOOR THRESHOLD. EXTERIOR DOORS SHOULD OPEN ONTO A LANDING LOCATED NOT MORE THAN 6" BELOW THE TOP OF THE THRESHOLD OF THE DOOR. AT SLOPED SIDE (INTERIOR FROM FLOOR), FLOOR/LANDING MUST BE NO MORE THAN 1" BELOW TOP OF THRESHOLD.
- FACTORY BUILT FIREPLACES, CHIMNEYS AND HEAVY EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTINGS AND THE MFG.'S INSTRUCTIONS. INSTALLATION INSTRUCTIONS FOR THE LISTED GAS FIREPLACE MUST BE ON SITE FOR INSPECTION TO VERIFY CLEARANCE TO COMBUSTIBLE FRAMING AND OR TRIM.
- ENCLOSED, UNABLE SPACE UNDER STAIRS SHALL BE CONSTRUCTED ON THE ENCLOSED SIDE AS REQUIRED FOR ONE HOUR FIRE RESISTIVE CONSTRUCTION.
- FIRE BLOCKING SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODE IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
 - AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
 - SUCH AS OCCUR AT SOFFITS, DROPPED CEILINGS AND COVE CEILING.
 - IN CONCEALED SPACES BETWEEN STUD STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS THAT AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 - AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
- ALL WINDOWS TO BE SINGLE HUNG, SLIDERS OR FIXED. ALL SLIDERS AND FIXED WILL BE DESIGNED ON THE FLOOR PLAN WITH "L" OR "T" RESPECTIVELY. ALL OTHER WINDOWS ARE TO BE SINGLE HUNG AND NOTED BY ONLY THEIR SIZE ON THE FLOOR PLAN. CONFIRM WINDOW TYPE WITH ELEVATIONS.

REV.	DATE
-	-

ADDRESS: 207 Winding Lane
Locust Grove, GA 30260
CONTACT: Jeff Bazile
Ph: 678-724-0260

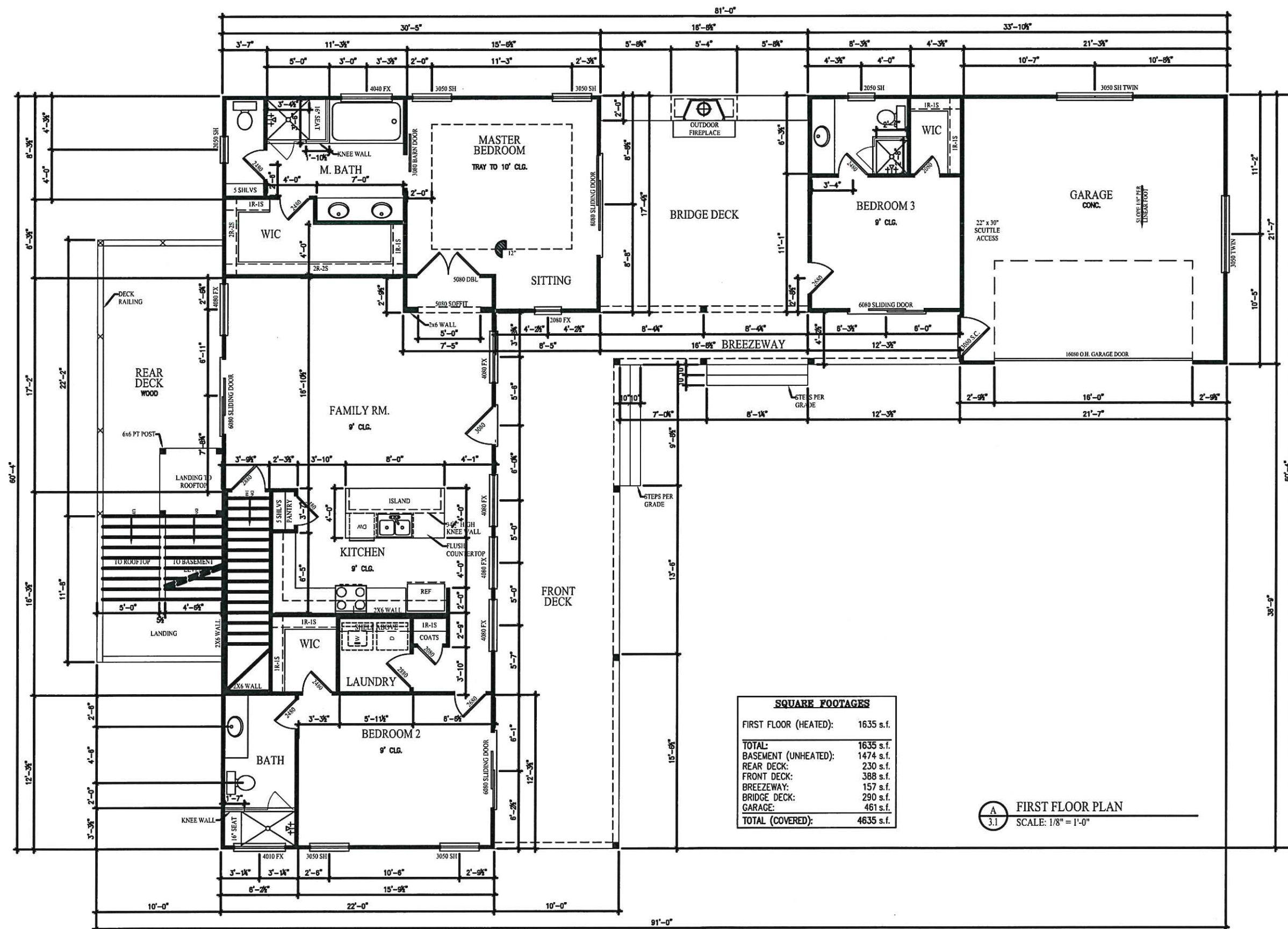


BAZILE RESIDENCE

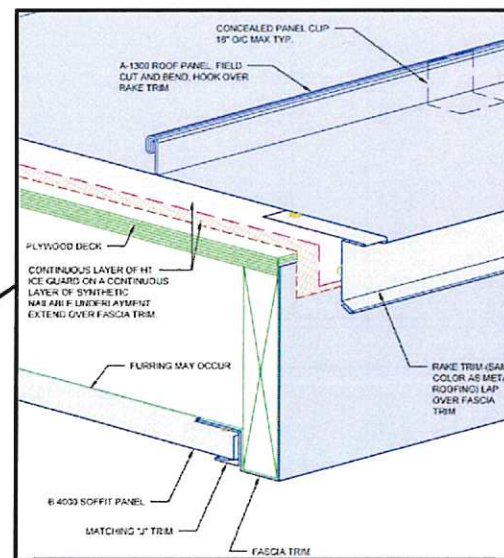
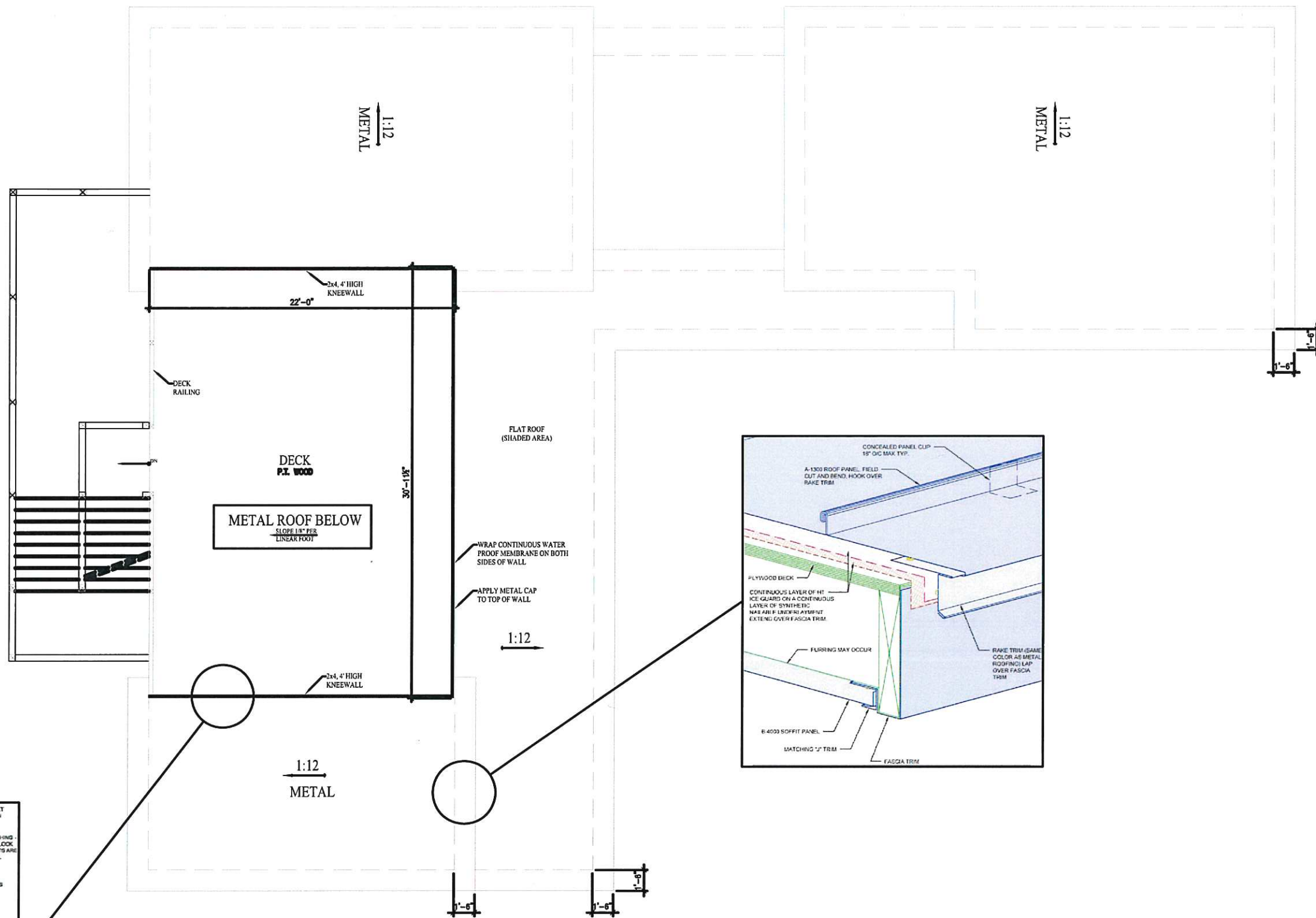
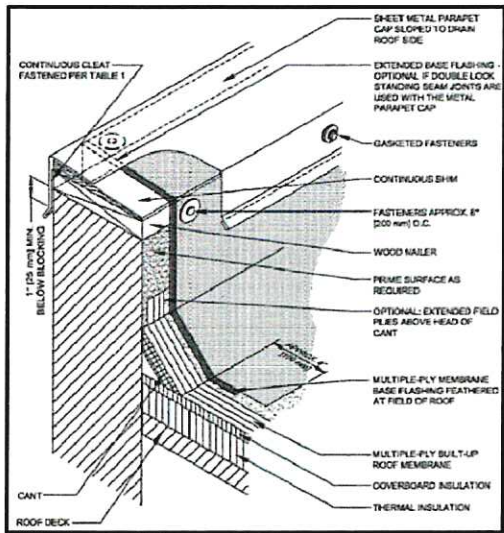
COVER SHEET

date: 7/6/20
scale: AS NOTED

C-1.0



REV.	DATE
-	-
ADDRESS: 207 Winding Lane Locust Grove, GA 30260	
CONTACT: Jeff Bazile Ph: 678-724-0260	
16100 Hwy 100, Suite 100, Atlanta, GA 30328	
BAZILE RESIDENCE	
FIRST FLOOR PLAN	
date:	7/6/20
scale:	AS NOTED
3.1	



A ROOF PLAN
 3.2 SCALE: 1/8" = 1'-0"

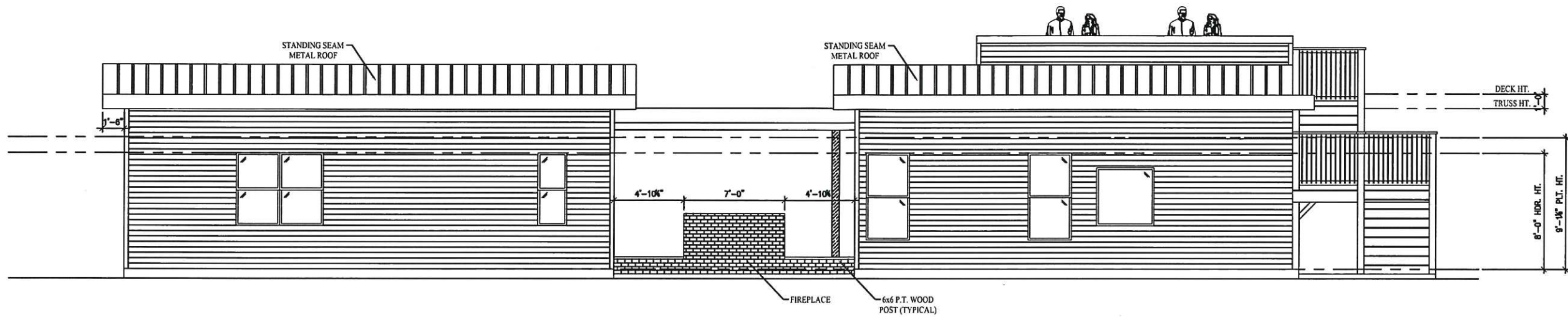
REV.	DATE
-	-

ADDRESS: 207 Winding Lane
 Locust Grove, GA 30260
 CONTACT: Jeff Bazile
 Ph: 678-724-0260

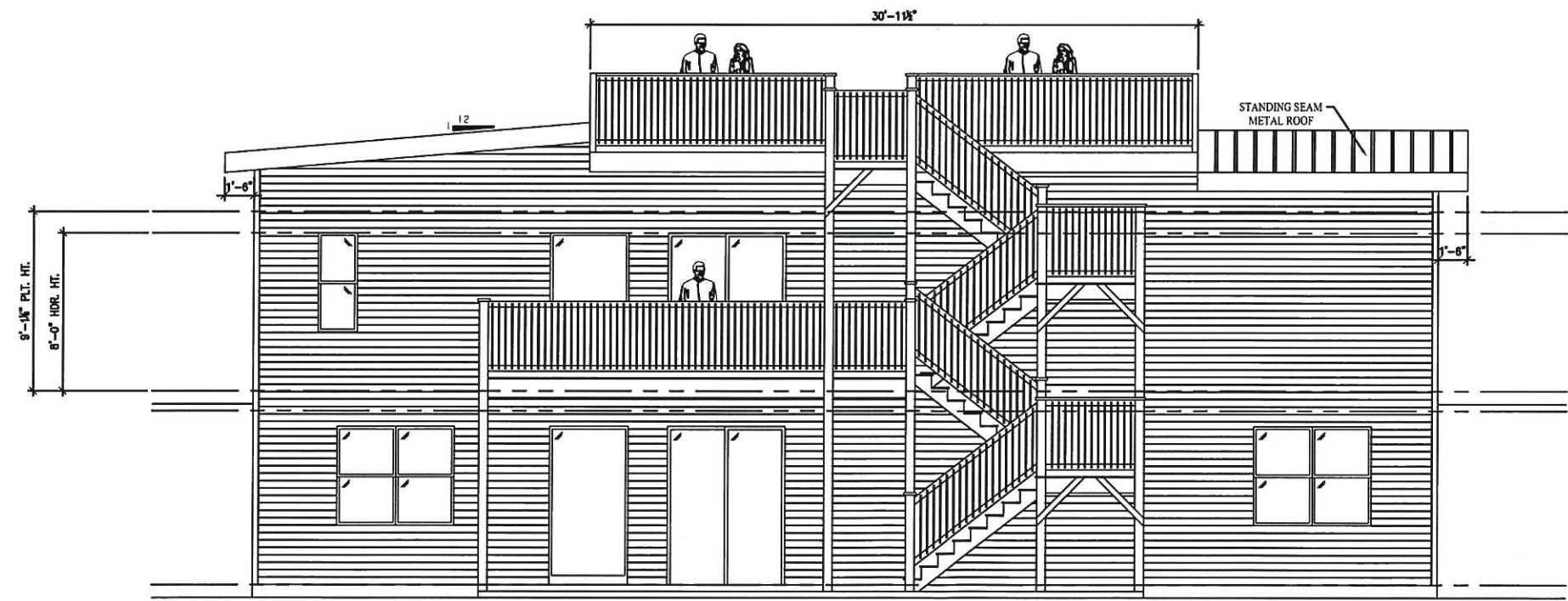


BAZILE RESIDENCE ROOF PLAN

date: 7/6/20
 scale: AS NOTED



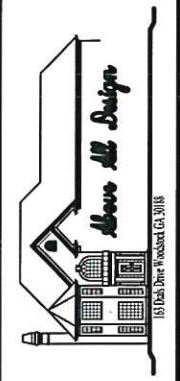
A
4.2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



B
4.2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

REV.	DATE
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-	-
-	-
-	-

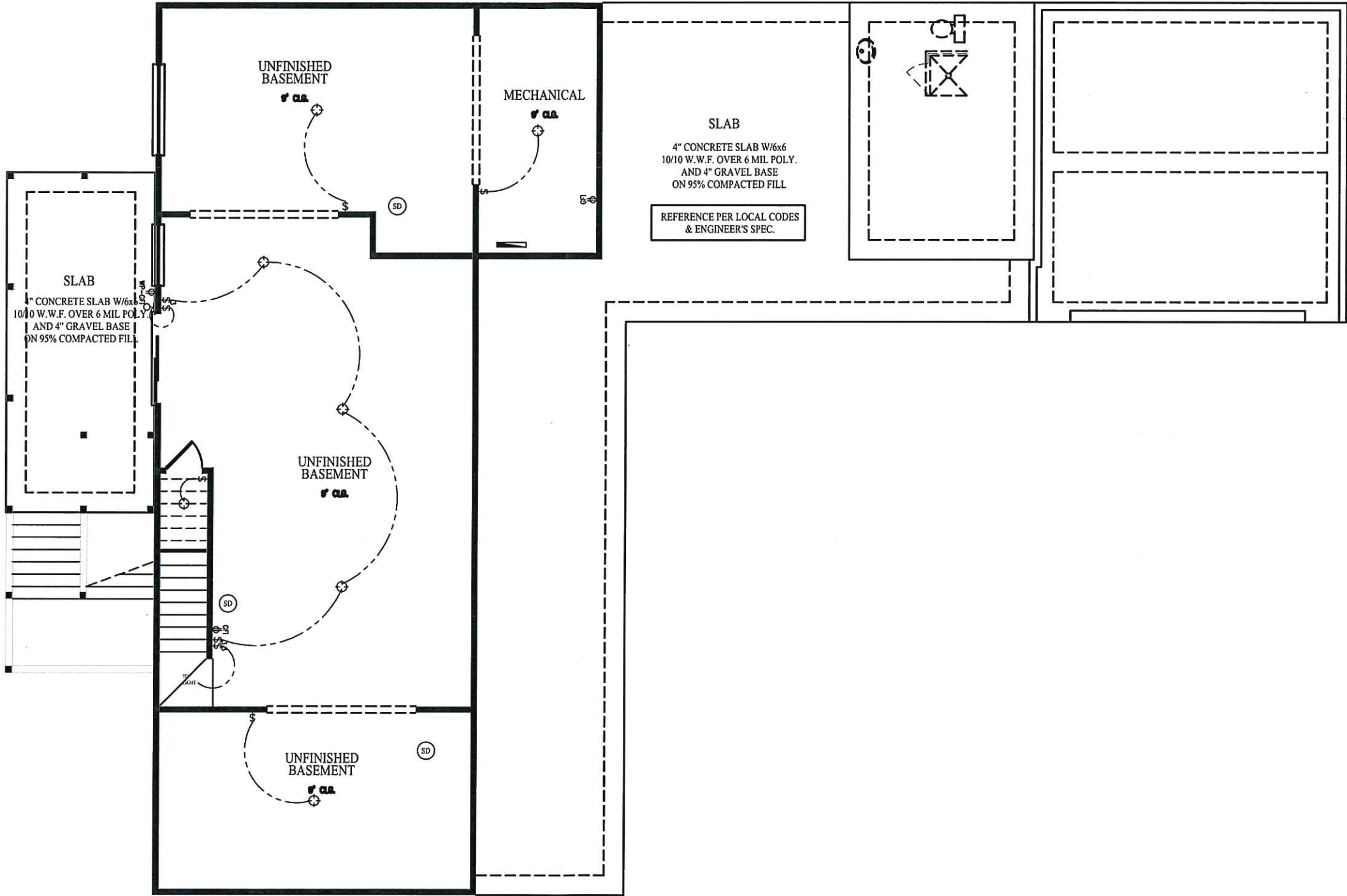
ADDRESS:
207 Winding Lane
Locust Grove, GA 30260
CONTACT:
Jeff Bazile
Ph: 678-724-0260



BAZILE RESIDENCE LEFT & REAR ELEVATIONS

date: 7/6/20
scale: AS NOTED

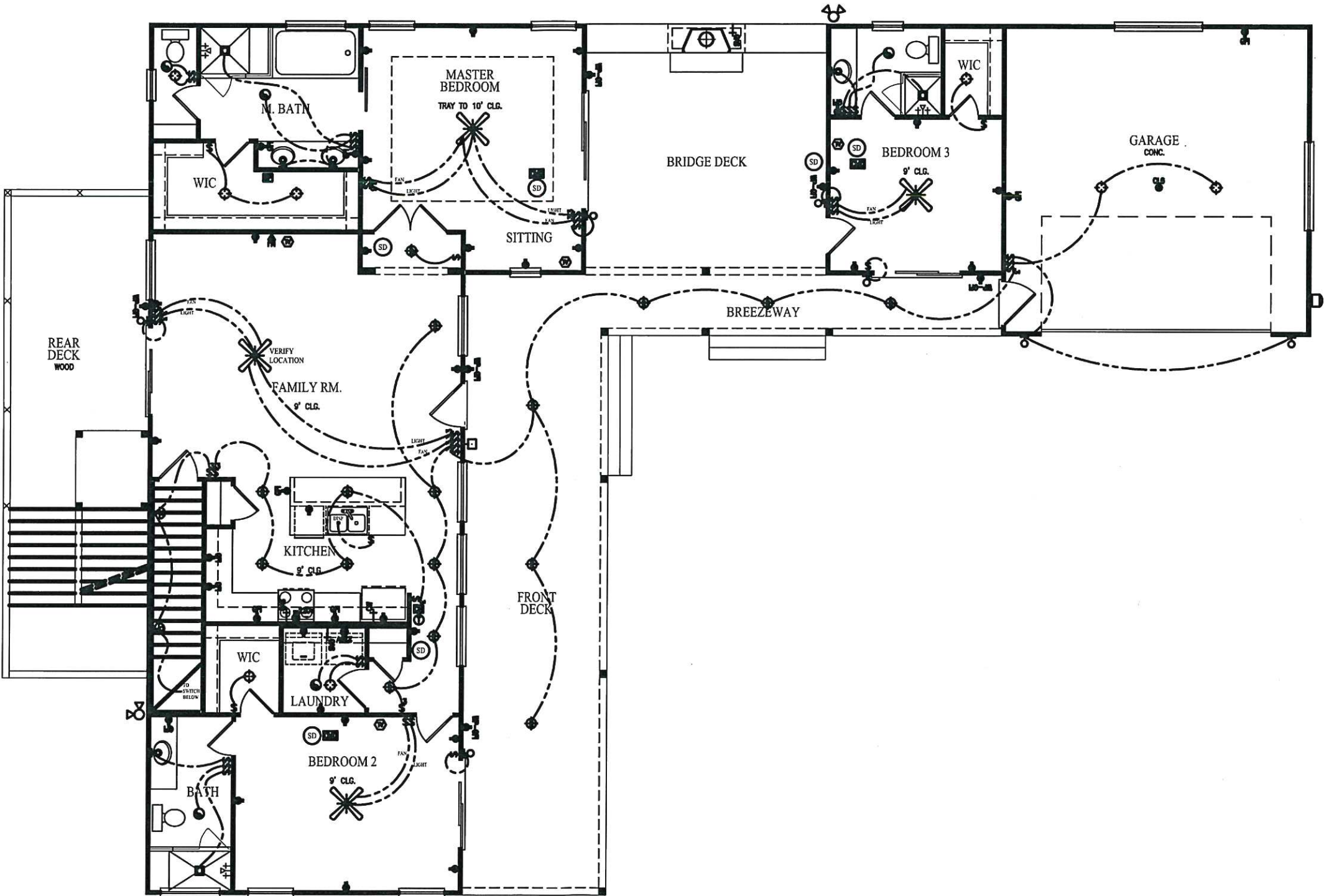
ELECTRICAL LEGEND			
	Gas Line		Hanging Light
	Cold Water		Eyeball Light
	Electrical Panel		Wall Mounted Light
	Electrical Meter		Wall Sconce
	Disconnect Switch		Fluorescent Light w/1 Bulb
	Switch		Fluorescent Light w/2 Bulbs
	3-Way Switch		Vapor Protected Light
	4-Way Switch		Exhaust Fan
	Dimmer Switch		Exhaust Fan w/Light
	Button		Exhaust Fan w/Heat & Light
	Duplex Outlet		Smoke Detector
	Quadplex Outlet		Carbon Monoxide Detector
	Switched Duplex Outlet		Thermostat
	Floor Outlet		Direct Wire
	GFI Outlet		Phone Jack
	Water Proof GFI Outlet		Media Jack
	Ceiling Mounted Outlet		Cable TV Outlet
	220V Outlet		Door Chimes
	Ceiling Mounted Light		Security Panel
	Recessed Can		Flood Light
	Ceiling Fan		Ceiling Fan w/Light



5.1 BASEMENT ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

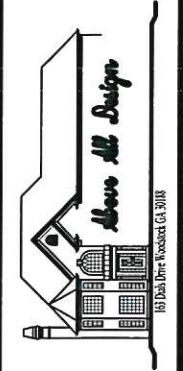
REV.	DATE
ADDRESS: 207 Winding Lane Locust Grove, GA 30260	
CONTACT: Jeff Bazile Ph: 678-724-0260	
10100 Peachtree Industrial Blvd., Suite 100, Atlanta, GA 30339	
BAZILE RESIDENCE	
BASEMENT ELEC PLAN	
date:	7/6/20
scale:	AS NOTED
5.1	

ELECTRICAL LEGEND			
	Gas Line		Hanging Light
	Cold Water		Eyeball Light
	Electrical Panel		Wall Mounted Light
	Electrical Meter		Wall Sconce
	Disconnect Switch		Fluorescent Light w/1 Bulb
	Switch		Fluorescent Light w/2 Bulbs
	3-Way Switch		Vapor Protected Light
	4-Way Switch		Exhaust Fan
	Dimmer Switch		Exhaust Fan w/Light
	Button		Exhaust Fan w/Heat & Light
	Duplex Outlet		Smoke Detector
	Quadplex Outlet		Carbon Monoxide Detector
	Switched Duplex Outlet		Thermostat
	Floor Outlet		Direct Wire
	GFI Outlet		Phone Jack
	Water Proof GFI Outlet		Media Jack
	Cable TV Outlet		Door Chimes
	Ceiling Mounted Light		Security Panel
	Recessed Can		Flood Light
	Ceiling Fan		Ceiling Fan w/Light



5.2 FIRST FLOOR ELECTRICAL PLAN
 SCALE: 1/8" = 1'-0"

REV.	DATE
-	-
ADDRESS: 207 Winding Lane Locust Grove, GA 30260 CONTACT: Jeff Bazile Ph: 678-724-0260	



BAZILE RESIDENCE
FIRST FLOOR ELEC PLAN

date:	7/6/20
scale:	AS NOTED

REV. DATE

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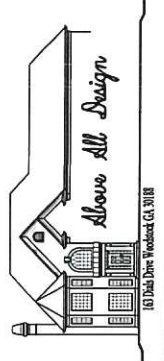
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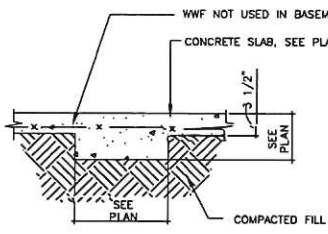
ADDRESS: 207 Winding Lane
Locust Grove, GA 30260
CONTACT: Jeff Bazile
Ph: 678-724-0260



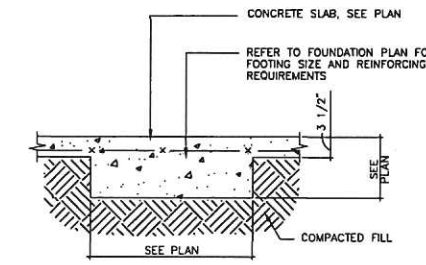
BAZILE RESIDENCE
CONSTRUCTION DETAILS

date: 7/6/20
scale: AS NOTED

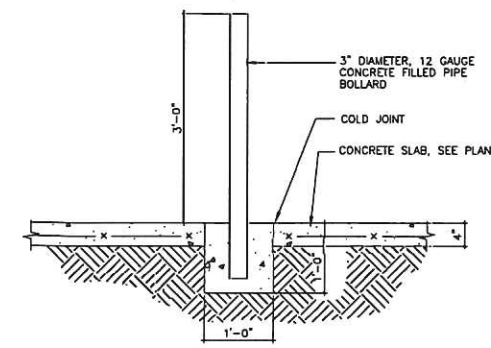
CD-1.0



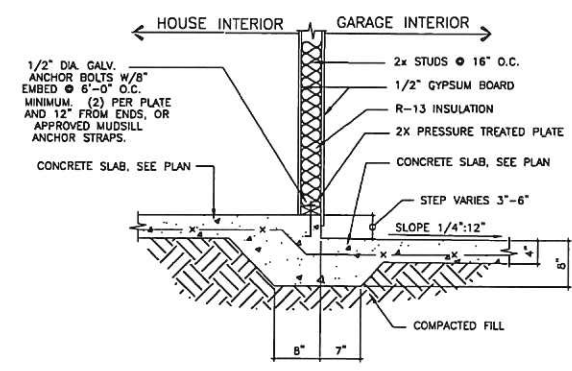
1 THICKENED FOOTING
SCALE: 3/4" = 1'-0"



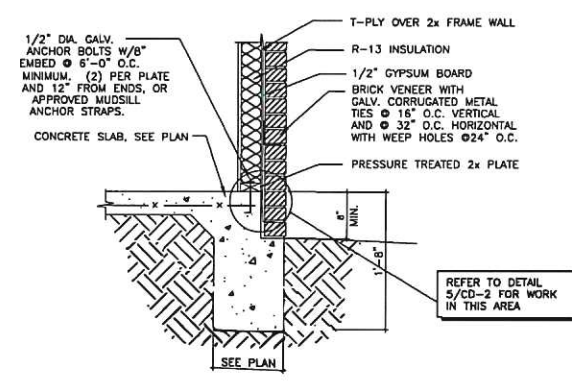
2 PAD FOOTING @ POINT LOAD
SCALE: 3/4" = 1'-0"



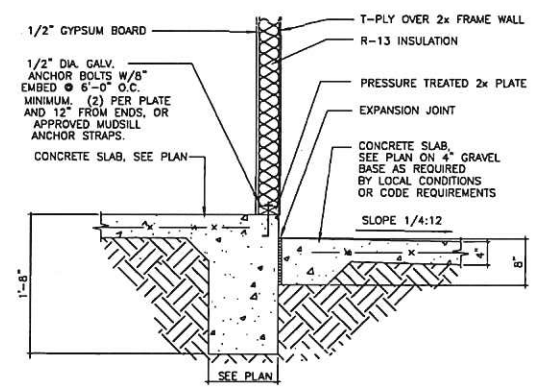
3 PIPE BOLLARD BARRIER @ GARAGE
SCALE: 3/4" = 1'-0"



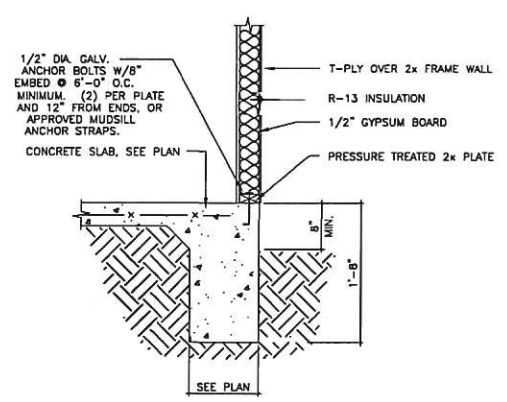
4 MONOLITHIC INTERIOR GARAGE FOOTING
SCALE: 3/4" = 1'-0"



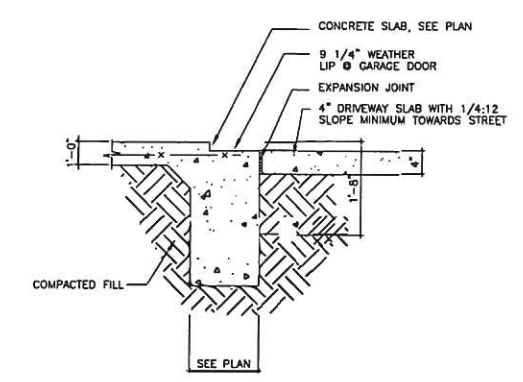
5 MONOLITHIC MASONRY PERIM. SLAB LEDGE
SCALE: 3/4" = 1'-0"



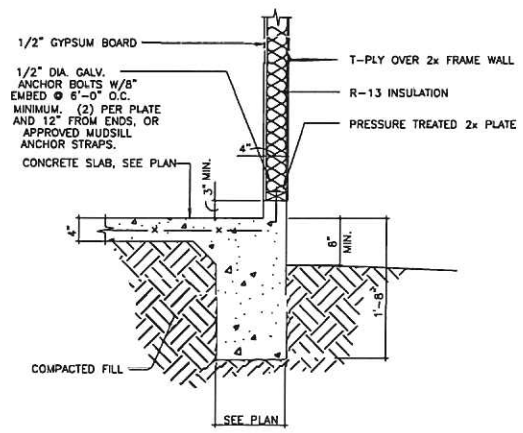
6 MONOLITHIC FOOTING @ PORCH/PATIO
SCALE: 3/4" = 1'-0"



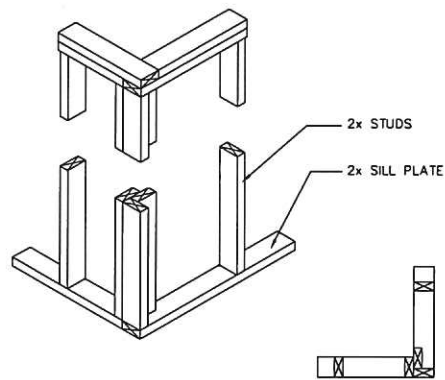
7 MONOLITHIC PERIMETER SLAB FOOTING
SCALE: 3/4" = 1'-0"



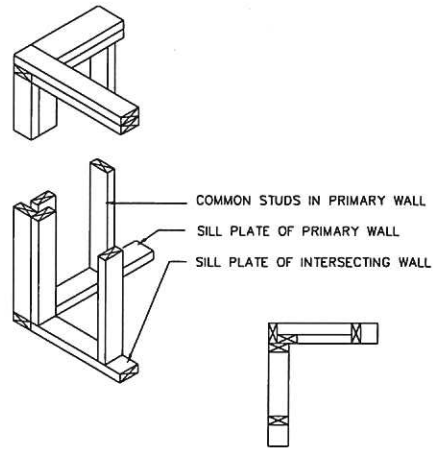
8 MONOLITHIC PERIM. FTG. @ GARAGE DOOR
SCALE: 3/4" = 1'-0"



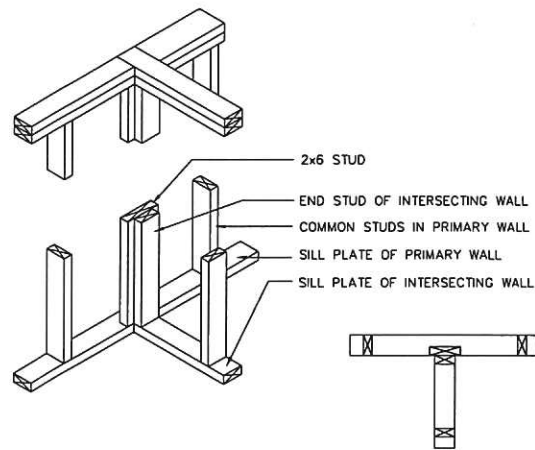
9 MONOLITHIC PERIM SLAB FTG. @ GARAGE
SCALE: 3/4" = 1'-0"



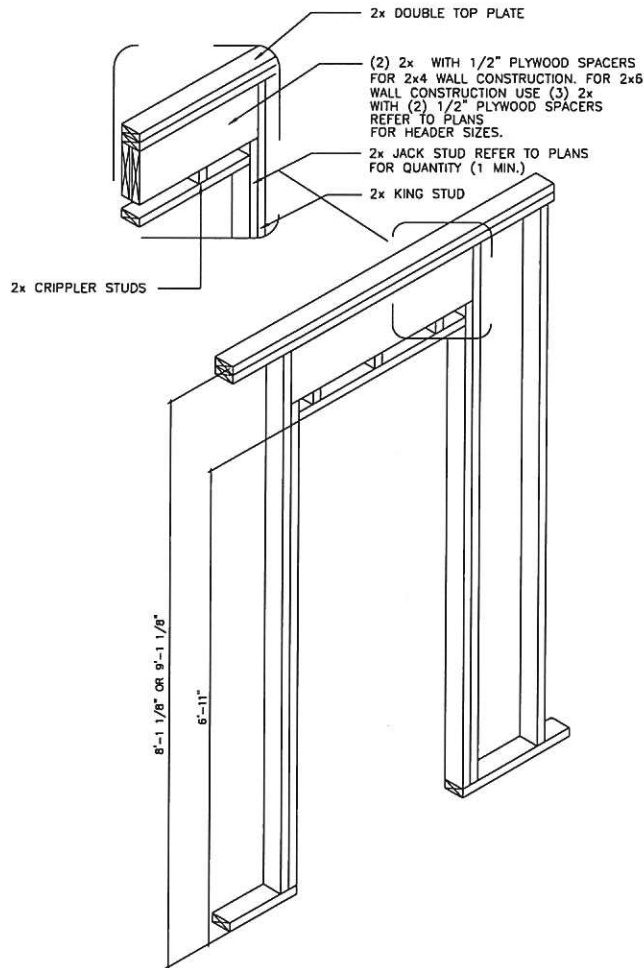
1 EXTERIOR CORNER FRAMING DETAIL
SCALE: 3/4" = 1'-0"



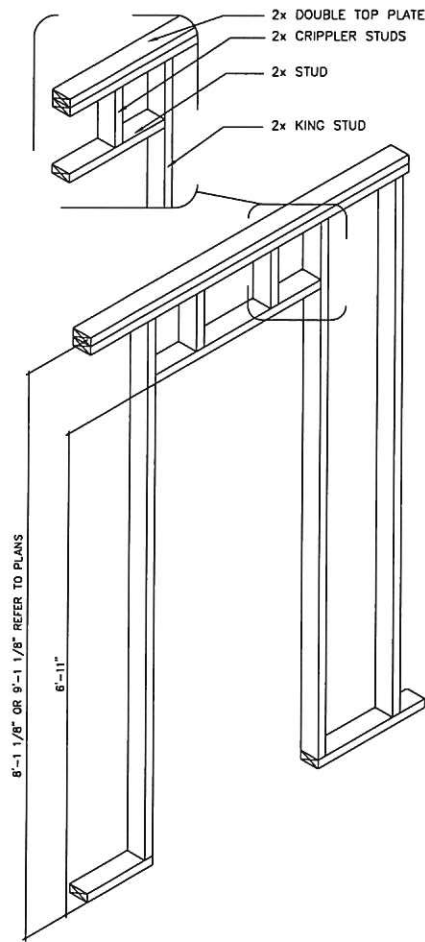
2 INTERIOR CORNER FRAMING DETAIL
SCALE: 3/4" = 1'-0"



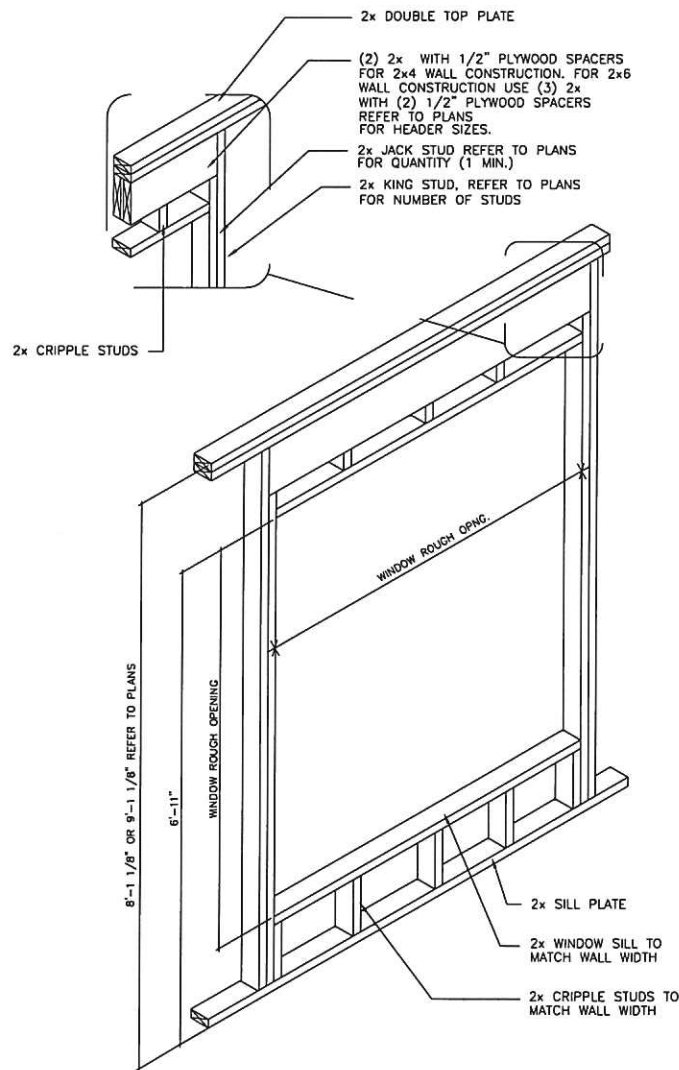
3 INT. & EXT. T-INTERSECTION FRAMING DETAIL
SCALE: 3/4" = 1'-0"



4 LOAD BEARING & EXTERIOR DOOR
SCALE: 3/4" = 1'-0"



5 NON-BEARING INTERIOR DOOR HEADER
SCALE: 3/4" = 1'-0"



6 LOAD BEARING
SCALE: 3/4" = 1'-0"

FLOOR JOISTS- 40 PSF LIVE LOAD
10 PSF DEAD LOAD, 360 DEFLECTION
(ALL ROOMS EXCEPT SLEEPING ROOMS & ATTIC FLOORS)

SIZE	SPACING	GRADE			
INCHES	INCHES ON CENTER	SOUTHERN PINE			
		SELECT STRUCTURAL	No.1	No.2	No.3
2 X 6	12	11-2	10-11	10-9	9-4
	16	10-2	9-11	9-9	8-1
	19.2	9-6	9-4	9-2	7-4
	24	8-10	8-8	8-6	6-7
2 X 8	12	14-8	14-5	14-2	11-11
	16	13-4	13-1	12-10	10-3
	19.2	12-7	12-4	12-1	9-5
	24	11-8	11-5	11-0	8-5
2 X 10	12	18-9	18-5	18-0	14-0
	16	17-0	16-9	16-1	12-2
	19.2	16-0	15-9	14-8	11-1
	24	14-11	14-7	13-1	9-11
2 X 12	12	22-10	22-5	21-9	16-8
	16	20-9	20-4	18-10	14-6
	19.2	19-6	19-2	17-2	13-2
	24	18-1	17-5	15-5	11-10

FLOOR JOIST SPAN CHART

TABLE R502.3.1(2) (IRC 2006)

CEILING JOISTS- 20 PSF LIVE LOAD
10 PSF DEAD LOAD, 240 DEFLECTION
(DRYWALL CEILING, NO FUTURE ROOM DEVELOPMENT
BUT LIMITED ATTIC STORAGE AVAILABLE)

SIZE	SPACING	GRADE			
INCHES	INCHES ON CENTER	SOUTHERN PINE			
		SELECT STRUCTURAL	No.1	No.2	No.3
2 X 4	12	10-3	10-0	9-10	8-2
	16	9-4	9-1	8-11	7-1
	19.2	8-9	8-7	8-5	6-5
	24	8-1	8-0	7-8	5-9
2 X 6	12	16-1	15-9	15-6	12-0
	16	14-7	14-4	13-6	10-5
	19.2	13-9	13-6	12-3	9-6
	24	12-9	12-6	11-0	8-6
2 X 8	12	21-2	20-10	20-1	15-4
	16	19-3	18-11	17-5	13-3
	19.2	18-2	17-9	15-10	12-1
	24	16-10	15-10	14-2	10-10
2 X 10	12	26-0	25-0	23-11	18-1
	16	24-7	23-1	20-9	15-8
	19.2	23-1	21-1	18-11	14-4
	24	21-6	18-10	16-11	12-10

CEILING JOIST SPAN CHART

TABLE R802.4(2) (IRC 2006)

STEEL ANGLE LINTEL TABLE R703.7.3 (IRC 2006)
(MIN. BEARING 4")

CLEAR SPANS	ANGLE SIZE
4'-6" OR LESS	3" x 3" x 1/4"
6'-0" OR LESS	4" x 3" x 1/4"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-6" OR LESS	6" x 3 1/2" x 5/16"
12'-0" OR LESS	2 - 6" x 3 1/2" x 5/16"

STEEL LINTEL SCHEDULE

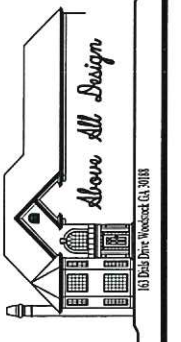
HEADER SCHEDULE			
TYPE	SIZE & MATERIAL	JACKS/SIDE	MAXIMUM SPAN
A	(2) 2"x4" SP	1	UP TO 5'-6"
B	(2) 2"x6" SP	1	3'-7" TO 4'-6"
C	(2) 2"x8" SP	2	4'-7" TO 6'-9"
D	(2) 2"x12" SP	2	6'-10" TO 9'-11"
E	LADDER FRAMED 2"x4"	1	NO LOAD PRESENT
F	(2) 2"x12" SP	2	18'-0"
G	2-PLY 1x6 HEADER	2	7'-0"

- Girder spans and header spans for exterior bearing walls shall not exceed the values set forth in Tables R502.5(1) and R502.5(2).
- The ends of each joist, beam, or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.

HEADER SCHEDULE

REV. DATE

ADDRESS: 207 Winding Lane
Locust Grove, GA 30260
CONTACT: Jeff Bazile
Ph: 678-724-0260

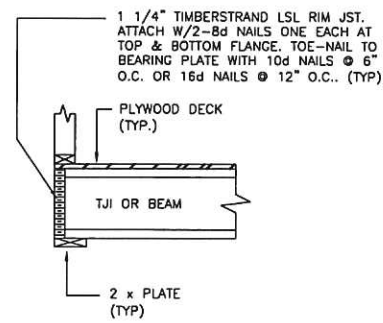


BAZILE RESIDENCE

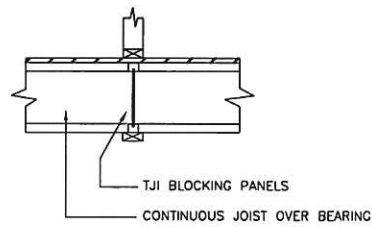
CONSTRUCTION DETAILS

date: 7/6/20
scale: AS NOTED

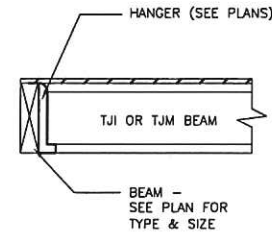
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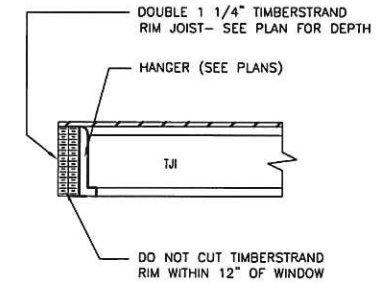
1 END CLOSURE DETAIL
SCALE: 3/4" = 1'-0"



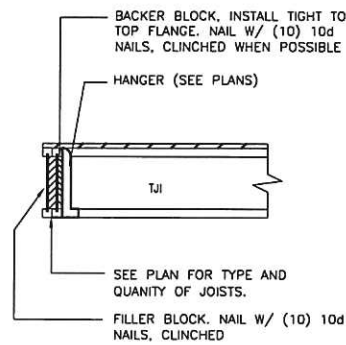
2 BLOCKING @ CONTINUOUS JOIST
SCALE: 3/4" = 1'-0"



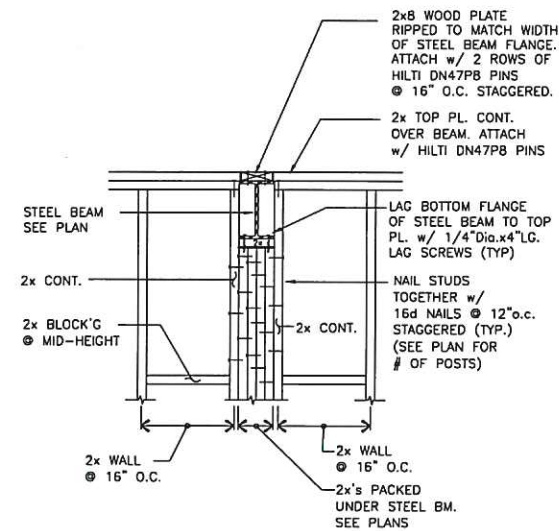
3 HANGER @ FLUSH BEAM
SCALE: 3/4" = 1'-0"



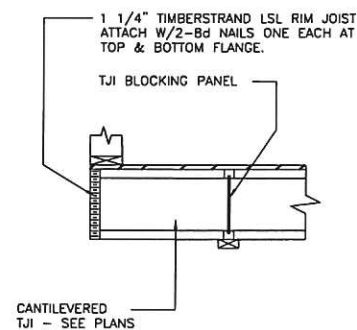
4 HANGER @ DOUBLE LSL RIM
SCALE: 3/4" = 1'-0"



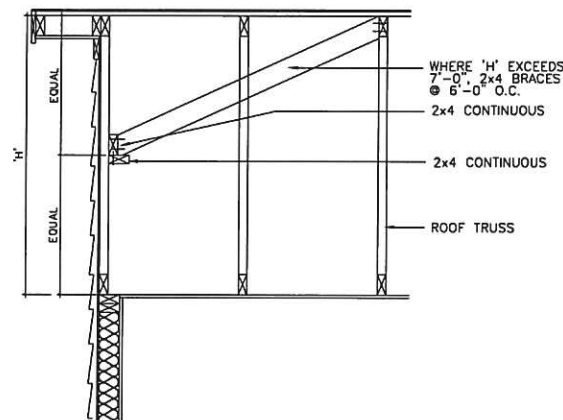
5 HANGER @ DOUBLE TJI
SCALE: 3/4" = 1'-0"



6 POSTING @ DROPPED STEEL BEAM
SCALE: 3/4" = 1'-0"



9 CANTILEVER DETAIL
SCALE: 3/4" = 1'-0"

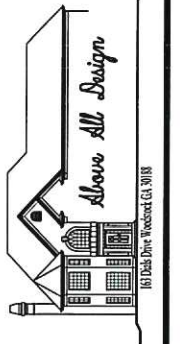


10 ROOF BRACING AT GABLE TRUSS
SCALE: 3/4" = 1'-0"

REV. DATE

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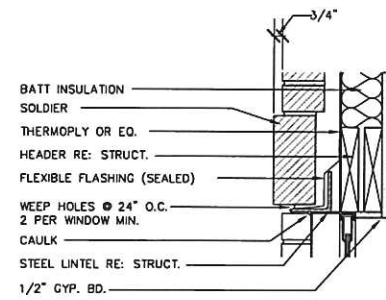
ADDRESS: 207 Winding Lane
Locust Grove, GA 30260
CONTACT: Jeff Bazile
Ph: 678-724-0260



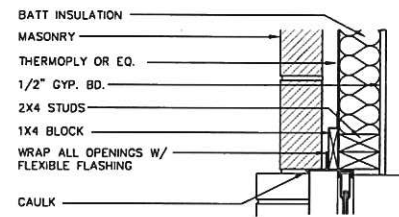
BAZILE RESIDENCE
CONSTRUCTION DETAILS

date: 7/6/20
scale: AS NOTED

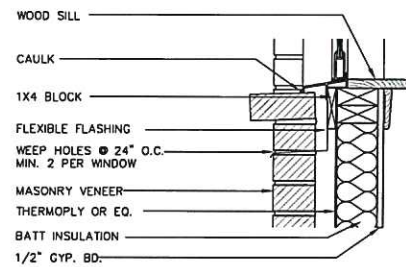
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HEAD

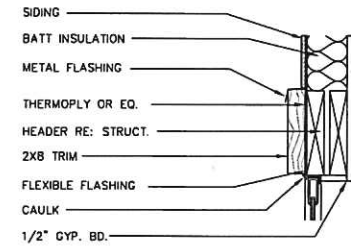


JAMB

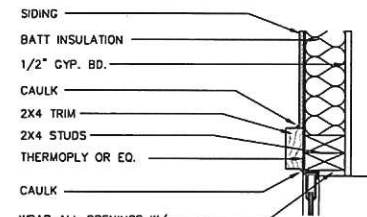


SILL

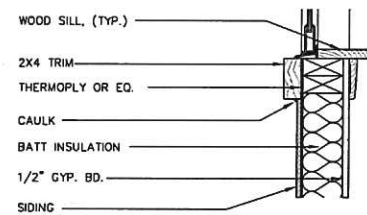
1 WINDOW @ MASONRY
SCALE: 1 1/2"=1'-0"



HEAD



JAMB

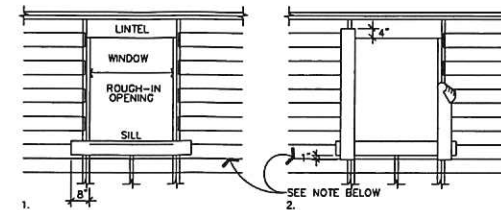


SILL

2 WINDOW @ SIDING
SCALE: 1 1/2"=1'-0"

WINDOW FLASHING

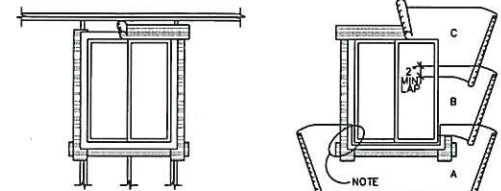
SECTION 1402.2 OF THE CODE STATES THAT "EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF".



1. ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL - EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOISTOP (OR EQUAL) WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.
2. ATTACH JAMB STRIP WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING. START STRIP 1" BELOW LOWER EDGE OF SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL.

NOTE: LINE-WIRE, WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT PLASTER (STUCCO), SHALL BE INSTALLED AS FOLLOWS:

1. WIRE GAUGE, SPACING, AND ATTACHMENT SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF BUILDING NEWS ITEMS 47-1.
2. PERIPHERAL FLASHING, AT ALL EDGES OF WALL OPENINGS, MUST COVER THE WIRE BACKING.
3. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.



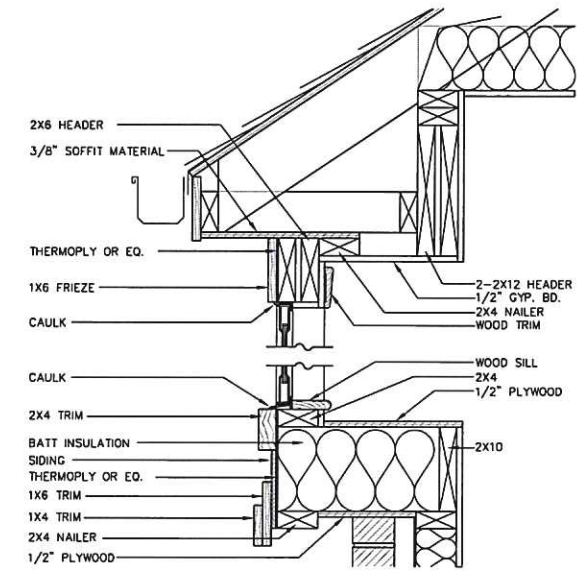
3. INSTALL WINDOW JAMB NAILING BEAD FLANGES OVER A CONTINUOUS BEAD OF SEALANT ON THE MOISTOP (OR EQUAL). INSTALL THE WINDOW HEAD MOIST STOP (OR EQUAL) ON A CONTINUOUS BEAD OF SEALANT APPLIED TO THE WINDOW HEAD NAILING FLANGE.

4. COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP.

NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF (SHOWN AS SHORT DASHED LINES). DO NOT SLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL SUCCESSIVE LINES OF BUILDING PAPER (B.C.D. ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

THE ABOVE METHOD APPLIES ONLY TO THE MOST COMMONLY USED TYPE OF METAL FRAME (SURFACE MOUNTED). FOR OTHER TYPES OF FRAMES, SPECIAL ATTENTION MUST BE PAID TO THE MANUFACTURER'S RECOMMENDATIONS.

3 TYPICAL
MOISTOP INSTALL
SCALE: 1 1/2"=1'-0"



4 BOX WINDOW
SCALE: 1 1/2"=1'-0"

REV.	DATE
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-	-
-	-

ADDRESS: 207 Winding Lane
Locust Grove, GA 30260
CONTACT: Jeff Bazile
Ph: 678-724-0260



BAZILE RESIDENCE

CONSTRUCTION DETAILS

date: 7/6/20
scale: AS NOTED

CD-1.3

JOIST SIZE

The span of a joist is measured from the centerline of bearing at one end of the joist to the centerline of bearing at the other end and does not include overhangs. Maximum joist span lengths are noted in Table 1. See Figures 1 and 2 for joist span types.

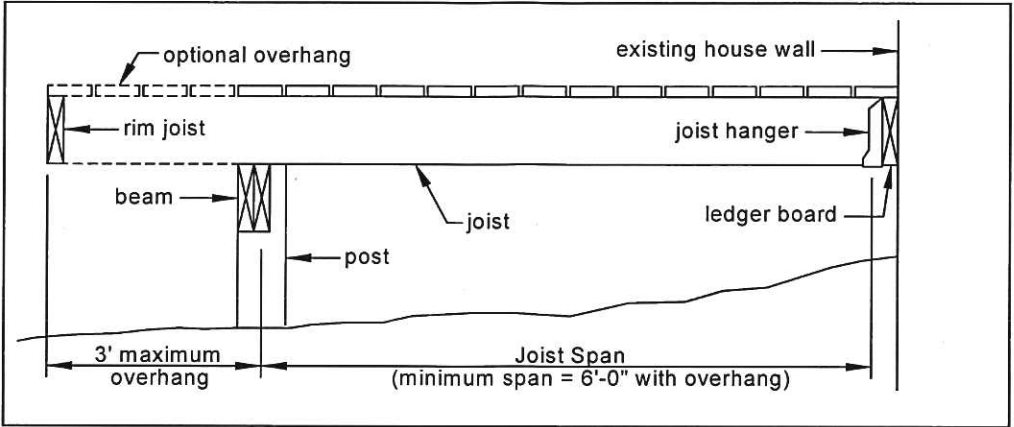


FIGURE 1: JOIST SPAN - DECK ATTACHED AT HOUSE

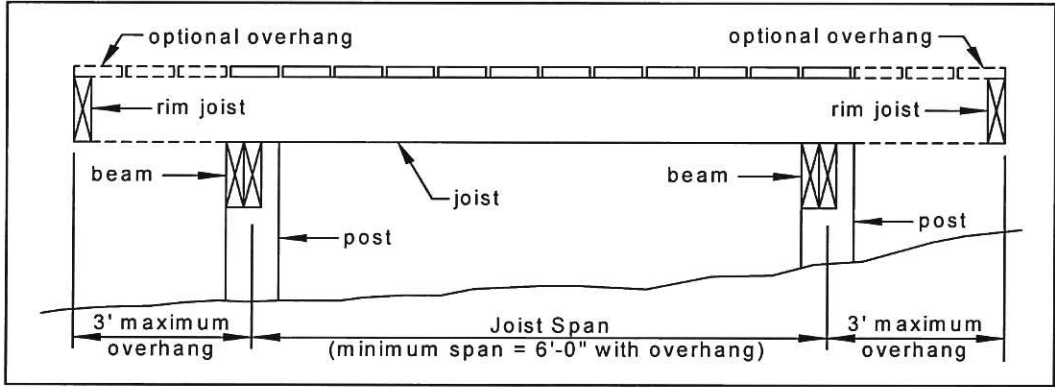


FIGURE 2: JOIST SPAN - FREE-STANDING DECK

Table 1 Maximum Joist Spans

Joist Size	Joist Spacing On Center	Joist Span ¹ (does not include overhang)
2 X 6	12"	10' 9"
2 X 6	16"	9' 9"
2 X 6	24"	8' 6"
2 X 8	12"	14' 2"
2 X 8	16"	12' 10"
2 X 8	24"	11'
2 X 10	12"	18'
2 X 10	16"	16' 1"
2 X 10	24"	13' 1"
2 X 12	12"	21' 9"
2 X 12	16"	18' 10"
2 X 12	24"	15' 5"

Spans based on 40 PSF live load, 10PSF dead load, southern yellow pine #2, normal loading duration

BEAM SIZE

Beam size is based upon the joist span and the tributary load it supports. Use Table 2 to determine the beam size and the spacing of the post that support the beam. Beam splices shall be placed above post locations. Beam span is the actual clear distance between posts. Larger beams than those required may be used.

TABLE 2

Beam	Joist Span													
Size	4'	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'	15'	16'	
(2) 2 X 6	7'	6'												
(2) 2 X 8	9'	8'	7'	7'	6'	6'								
(2) 2 X10	11'	10'	9'	8'	8'	7'	7	6'	6'	6'	6'			
(3) 2 X 8	12'	11'	10'	9'	8'	8'	7'	7'	7'	6'	6'	6'		
(2) 2 X 12	13'	12'	10'	10'	9'	8'	8'	7'	7'	7'	6'	6'	6'	
(3) 2 X 10	15'	13'	12'	11'	10'	10'	9'	9'	8'	8'	8'	7'	7'	
(3) 2 X 12	16'	15'	14'	13'	12'	11'	11'	10'	10'	9'	9'	8'	8'	

(Number below joist span represent maximum girder span)

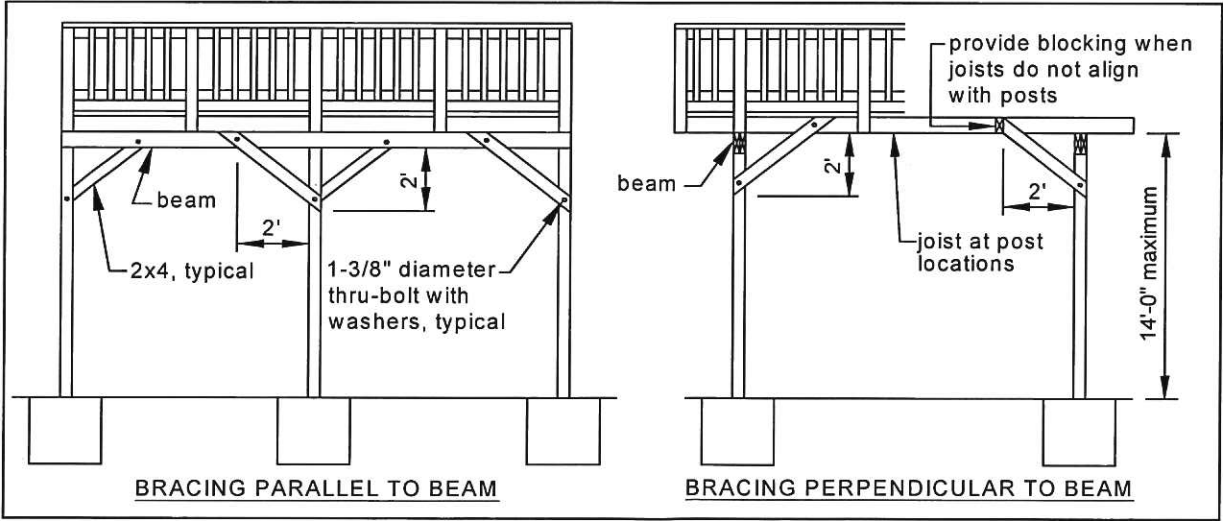
POST SIZE

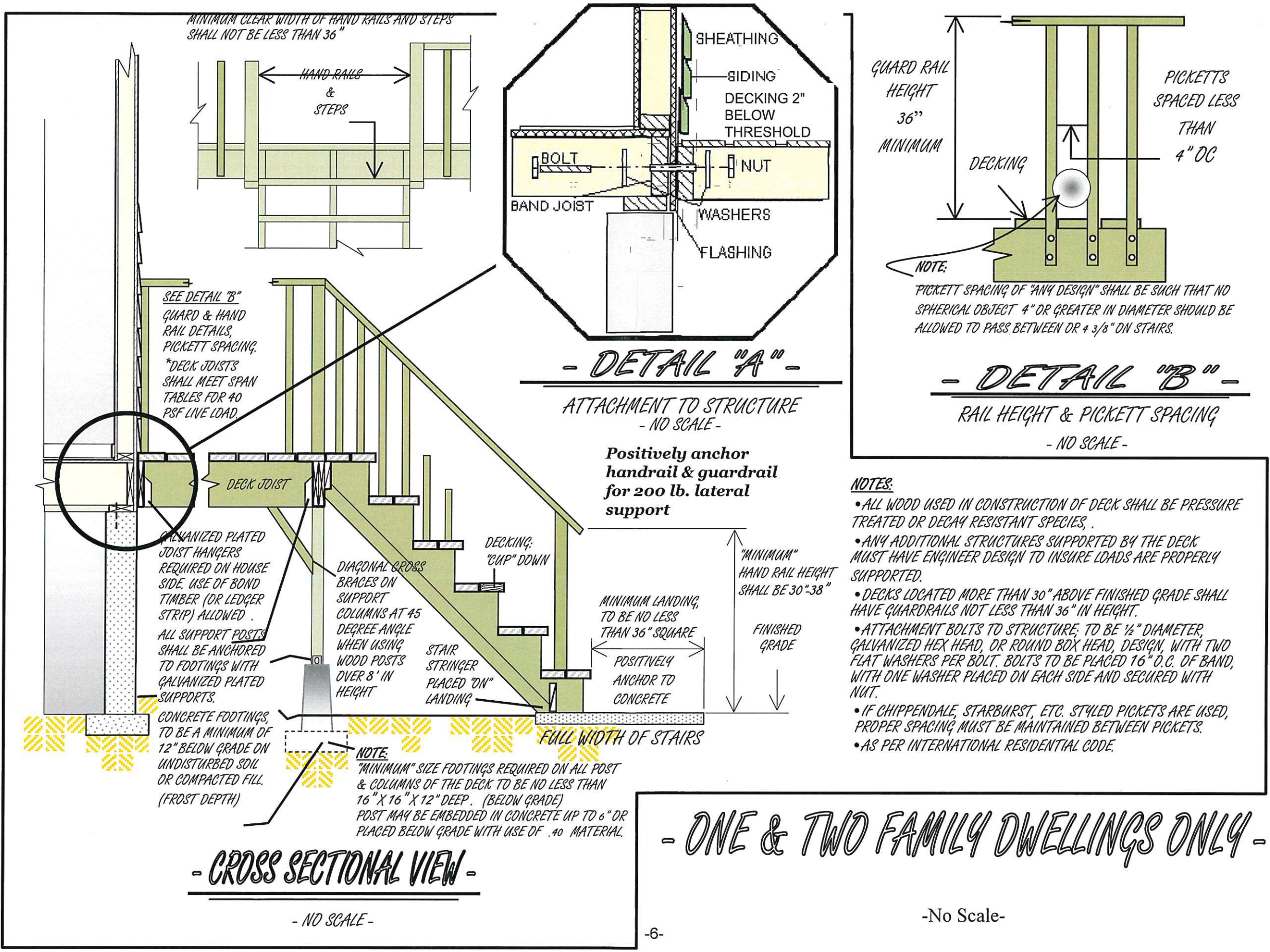
Post used for residential deck construction may be 4 X 4, 4X 6, 6 X 6 or 3 inch or greater metal post. Use Table 4 for height limitations of wood post. All post must be secured at the top and bottom of their position placement. Dimensions of the post shall match the beam width.

TABLE 4

Post Size	Post Height
4 X 4	≤ 8'
4 X 6	≤12'
6 X 6	> 12' & < 17'

POST TO BEAM BRACING





- ONE & TWO FAMILY DWELLINGS ONLY -

-No Scale-

SPALDING COUNTY BOARD OF APPEALS

DATE: October 8, 2020
TO: Spalding County Board of Appeals
FROM: Department of Community Development
RE: **Variance Application 20-16V**

The following report constitutes the assessment and evaluation by the Community Development Department staff on the above referenced application.

Identification of the Property:

Size and location:

The property is located at 207 Winding Lane and is 5.47 acres, more or less, located in Land Lot 72 of the 2nd Land District.

Parcel #:

208-01002

Current Owner:

Baz Brothers Production LLC
207 Winding Lane
Griffin, GA 30223

Agent/Developer

Jeff E. Bazile

Development:

The applicant is requesting to vary from Section 203.A.2 of the Unified Development Ordinance (UDO) which states:

A. Conventional Construction: A dwelling unit constructed on the building site from basic materials delivered to the site; and which is constructed in accordance with the Standard Building Code of the Southern Building Code Congress International (SBCCI), and meeting the following development standards:

2. The pitch of the dwelling unit's roof has a minimum vertical rise of four (4) feet for each twelve (12) feet of

horizontal run, except that any such dwelling unit for which a building permit was applied prior to the adoption of this Ordinance may be extended, enlarged or repaired as otherwise provided by this Ordinance with the same roof pitch as that allowed by the aforesaid building permit.

The property is zoned AR-1.

The applicant is requesting a permit to construct a private, single-family residence. The architectural style of the house is modern and it has a flat roof over most of the house, and some roof sections with a 1:12 pitch, reminiscent of the Prairie Style architecture popularized by Frank Lloyd Wright.

Compliance with Zoning Ordinance Development Standards:

The applicant is requesting to vary from the following section(s):

1. Article 2, Section 203.A.2: Conventional Construction, Roof Pitch

Considerations of a Variance Request:

Section 411 of the UDO lists the following considerations for the granting of a variance application:

1. The hardship cannot be self-created such as:
 - A. A lot purchased with knowledge of an existing restriction.
There is no evidence that the applicant was aware of the requirement at the time of purchase.
 - B. A claim of hardship in terms of prospective sales.
There is no evidence for a claim with respect to hardship of prospective sales.
 - C. An expressed economic need requiring a Variance, when such a need can be met in other ways, which would not require a Variance.
There is no expressed economic need.

2. The Board of Appeals shall, in granting a variance, determine that:

- A. There are extraordinary and exceptional conditions pertaining to the particular parcel because of its size, shape, location and topography.
- B. Application of this Ordinance to the particular parcel would create a practical difficulty or unnecessary hardship on the property owner.
- C. Such conditions are peculiar and unique to the particular parcel.
- D. The variance, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of this Ordinance.
- E. A literal interpretation of this Ordinance would deprive the Applicant of any rights that others owning property within the same zoning classification are allowed.
- F. The variance, if granted, shall not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties within the same zoning classification.
- G. The variance may be granted with such conditions imposed as may be necessary to protect the health, safety, welfare and general value of the property in the general neighborhood.
- H. Granting the variance shall not be based on consideration of any existing nonconforming uses on nearby parcels and no permitted use of any parcel in any other zoning classification.

Photos:



View of the property from Winding Lane.

Staff Recommendations:

Staff recommends **Approval** of this application for the following reasons:

- 1. Granting this variance would not cause substantial detriment to the public good nor would it impair the Spirit of this Ordinance.

Recommended Conditions:

- 1. All aspects of the construction shall conform to the house plans submitted with the application package.
- 2. An approved building permit is required.



SPALDING COUNTY BOARD OF ZONING APPEALS Application #20-17V

Requesting Agency

Office of Community Development

Requested Action

Application #20-17V: JTS Properties, LLC, Owner - Keith Kenney, Agent - 1016 Rehoboth Church Road (68.67 acres located in Land Lot(s) 73 & 74 of the 3rd Land District) - requesting a Variance from front yard setback in the AR-1 District.

Requirement for Board Action

Article 4. Section 411.

Is this Item Goal Related?

No

Summary and Background

The applicant desires to subdivide the parcel into 6 lots. There is an existing house on the property that is a legal, non-conforming structure because it does not meet the minimum front yard setback. Any changes to the parcel configuration require a variance for the non-conforming setback. The applicant is requesting to vary from Section 504:D of the Unified Development Ordinance (UDO) which states that the Minimum Front Yard Depth shall be 100'. The existing house is located 90' from the front property line.

The property is zoned AR-1.

Fiscal Impact / Funding Source

STAFF RECOMMENDATION

APPROVAL.

ATTACHMENTS:

Description	Upload Date	Type
□ Application #20-17V	10/1/2020	Backup Material



REQUEST FOR VARIANCE
APPLICATION NO. 20-17V

AGENT/DEVELOPER INFORMATION

(If not owner)

Name: Keith Kenney
Address: 1414 Experiment St.
City: Griffin
State: Ga. Zip: 30223
Phone: 770 584-0635
Contact Person: Keith

PROPERTY OWNER INFORMATION

Name: JTS Properties LLC
Address: 131 Tall Pines Dr.
City: Jackson
State: Ga. Zip: 30233
Phone: 404-569-3933
Phone: _____

APPLICANT IS THE:

☒ Owner's Agent ☐ Property Owner ☐ Developer

Land District(s): 3rd Land Lot(s): 73+74 Acreage: 68.67

Address of Property: 1016 Rehoboth Church Rd. Griffin Ga.

Identify the existing district requirement(s) for which you seek a Variance: _____

Front setback from 100' to 90'

State what you propose the district requirement(s) be varied to: _____

Front yard setback from 100' to 90'

Zoned AR-1

Describe what use is proposed and the reason that a Variance is required: Due to

Setback of 100 ft. Current Property
is 90 ft from Road Need Variance
to split land into 6 lots

OTHER REQUIRED INFORMATION

Please attach 1 copy (11 x 17) of plat prepared by a Registered Land Surveyor and drawn to scale showing lot lines and location of existing structures and location of proposed structures.

Please attach a deed, certified by the Clerk of Court, which includes a metes and bounds description of the property proposed.

Signature(s):

Keth Kenny
Agent/Developer

JTS Properties
Property Owner

8/27/2020

Date

8/27/2020

Date

OFFICE USE ONLY

Date Received: 9-3-20

Amount of Fee: \$300⁰⁰

Received By: C. McDaniel

Receipt Number: 043878

**MEMORANDUM OF UNDERSTANDING
CONCERNING VARIANCES**

Section 411: Variances.

- A. A Variance is a permit, issued by the Board of Appeals, which allows use of a parcel of land in a way that varies from requirements for the district in which the property is located. A Variance may be granted only in an individual case where a hardship would result if all of the requirements of this Ordinance were applied stringently to a particular piece of property. A hardship means that reasonable use of the land is not possible, if all of the requirements of this Ordinance are to be met. The hardship cannot be self-created such as:
1. A lot purchased with knowledge of an existing restriction.
 2. A claim of hardship in terms of prospective sales.
 3. An expressed economic need requiring a Variance, when such a need can be met in other ways, which would not require a Variance.
- B. Relief from the hardship—the Variance—must not cause substantial detriment to the public good or impair the purposes of this Ordinance.
- C. When a Variance is issued, the spirit of this Ordinance must be observed and the public safety and welfare secured. A Variance may be granted *only* for permitted uses in the zoning district in which the property in questions is located. (For example, a two-family dwelling would not be allowed to be placed in an R-1 district under a Variance).

I hereby certify that I have read the above statements and understand fully the basis for the Board of Appeals to grant a variance.

Applicant Signature Kentt Kung

Date 8/27/2020

Witness [Signature]

Date 8/27/2020

Application No. 20-17V

Spalding County Fee Schedule:

Appeal from Action of Administrative Officer: \$ 300.00

Variance: \$ 300.00

Special Exception: \$ 500.00

Multiple Parcel Rezoning: Multiple parcel rezoning of contiguous tracts will be allowed so long as all tracts are to be rezoned to the same zoning classification. All applicants owning property which is subject to the application are deemed to consent to rezoning of their property and to rezoning of any and all other tracts included within the Application. The following fees shall apply to multiple parcel rezoning applications: (#A-99-08 – 09/07/99; #A-00-11 - 07/17/00)

A. Parcel 1 - \$750.00

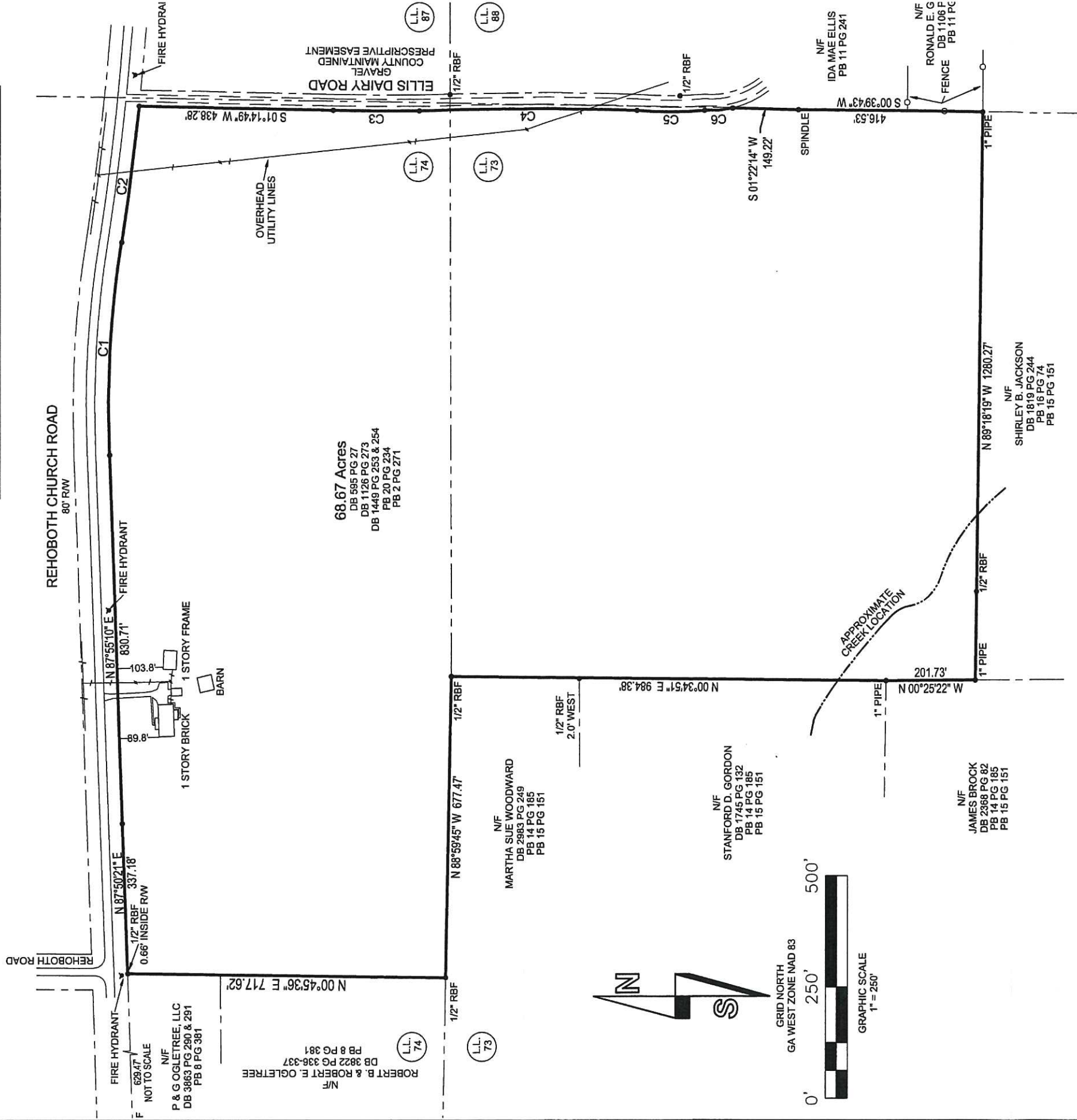
B. Parcel 2-5 - \$150.00 each, in addition to the fees stated in A; and

C. Parcels 6+ - \$100.00 each, in addition to the fees stated in A and B.

LEGEND
RBF=REBAR FOUND
RBS=REBAR SET
CTP=CRIMP TOP PIPE
L.L.=LAND LOT
L.L.L.=LAND LOT LINE
P.=PROPERTY LINE
CO=CONSTRUCTION ENTRANCE
EP=EDGE OF PAVEMENT
P.O.B.=POINT OF BEGINNING
B/L=BUILDING SETBACK LINE
D.E.=DRAINAGE EASEMENT
N/F=NOW OR FORMERLY
F.W.P.D.=FIELD WORK
PERFORMED DATE
O/F=OUT OF FLOOD PLAIN
DB=DEED BOOK
PG=PAGE
PB=PLAT BOOK
###=HOUSE NUMBER

S.A. GASKINS
& ASSOCIATES, LLC.
SURVEYORS PLANNERS DEVELOPMENT CONSULTANTS
P.O. BOX 303 Brooks, Ga. 30205
rdgaskins79@gmail.com 678-571-3054
JOHN 3:16

CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C1	481.11'	2387.24'	480.29'	S 86°45'51" E
C2	309.20'	6573.62'	309.17'	S 82°46'29" E
C3	194.94'	5938.51'	194.93'	S 00°30'33" W
C4	492.39'	6905.73'	492.29'	S 00°07'06" E
C5	153.41'	909.80'	153.23'	S 00°00'58" W
C6	64.02'	212.14'	63.78'	S 04°22'42" E



CLOSURE STATEMENT
THE FIELD DATA UPON WHICH THIS PLAT IS
BASED HAS A CLOSURE PRECISION OF ONE
FOOT IN 42,167 FEET AND AN ANGULAR ERROR
OF 00° 00' 02" PER ANGLE POINT AND HAS BEEN
ADJUSTED USING THE COMPASS RULE
METHOD.

THIS PLAT HAS BEEN CALCULATED FOR
CLOSURE AND IS FOUND TO BE ACCURATE
WITHIN ONE FOOT IN 100,000+ FEET.
ANGULAR & LINEAR MEASUREMENTS WERE
OBTAINED USING A LIECA 403 TCR TOTAL
STATION



Prepared For:
JTS PROPERTIES

Scale: 1" = 250'
County: Spalding
Land Lot: 73 & 74
District: 3rd
Date: 08/31/20
Job No: 19-090

Record and return to:
A. Reid Turner, III
PO Box 932
Griffin, GA 30224

BOOK 4488 PAGE 265

Real Estate Transfer Tax
Paid \$ 386.00
Date 11-14-19
PT - 61 126 - 2019-31SD
Debbie L. Brooks
Clerk of Superior Court

FILED & RECORDED
CLERK, SUPERIOR COURT
SPALDING COUNTY, GA.

2019 NOV 14 A 11:42

BY *Debbie L. Brooks*
DEBBIE L. BROOKS, CLERK

WARRANTY DEED

STATE OF GEORGIA
COUNTY OF SPALDING

THIS INDENTURE, made the 14th day of November, 2019, between **EVELYN C. ALEXANDER**, of the State of Georgia, as party or parties of the first part, Grantor, and **JTS PROPERTIES LLC**, of the State of Georgia, as party or parties of the second part, Grantee. ("Grantor" and "Grantee" to include their respective heirs, successors, executors, administrators, legal representatives and assigns where the context requires or permits.)

WITNESSETH, that the said Grantor, for and in consideration of TEN DOLLARS AND OTHER VALUABLE CONSIDERATION in hand paid at and before the sealing and delivery of these presents, the receipt and sufficiency whereof is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the Grantee,

All that lot, tract or parcel of land described on Exhibit "A", attached hereto and made a part hereof by reference.

TO HAVE AND TO HOLD the said premises, together with all rights and appurtenances unto the said Grantees, forever in FEE SIMPLE, and the said Grantor warrants the title to same against the lawful claims of all persons whomsoever.

Wherever there is a reference herein to the Grantor and Grantee, the singular includes the plural and the masculine includes the feminine and the neuter, and said terms include and bind the heirs, executors, administrators, successors and assigns of the parties hereto.

In witness whereof, the Grantor has hereunto set his hand and affixed his seal the day and year above written.

Evelyn C. Alexander By *Albert Phillip Cook* (Seal)
EVELYN C. ALEXANDER
By Albert Phillip Cook, her Attorney-in-Fact

Signed, sealed and delivered in the presence of:

Witness

Elizabeth Cumming
Notary Public



BOOK 4488 PAGE 266

Exhibit "A"

All that lot, tract or parcel of land situate, lying and being in Land Lots 73 and 74 of the Third Land District of Spalding County, Georgia, being shown and designated as 68.67 Acres, on that certain plat of survey entitled "Prepared for John T. Swygert", prepared by S.A. Gaskins & Associates, LLC, Professional Registered Land Surveyors, dated August 27, 2019, and recorded in Plat Book 27, Page 102, of the Spalding County Superior Court records. Said plat, together with the metes, bounds, courses and distances as shown thereon, is incorporated herein and made a part of this description.

SPALDING COUNTY BOARD OF APPEALS

DATE: October 8, 2020

TO: Spalding County Board of Appeals

FROM: Department of Community Development

RE: **Variance Application 20-17V**

The following report constitutes the assessment and evaluation by the Community Development Department staff on the above referenced application.

Identification of the Property:

Size and location:

The property is located at 1016 Rehoboth Church Road and is 68.67 acres, more or less, located in Land Lot 73 & 74 of the 3rd Land District.

Parcel #:

226-01004

Current Owner:

JTS Properties
131 Tall Pines Drive
Jackson, GA 30233

Agent/Developer

Keith Kenney
1416 Experiment Street
Griffin, GA 30223

Development:

The applicant desires to subdivide the parcel into 6 lots. There is an existing house on the property that is a legal, non-conforming structure because it does not meet the minimum front yard setback. Any changes to the parcel configuration require a variance for the non-conforming setback. The applicant is requesting to vary from Section 504.D of the Unified Development Ordinance (UDO) which states that the Minimum Front Yard Depth shall be 100'. The existing house is located 90' from the front property line.

The property is zoned AR-1.

Compliance with Zoning Ordinance Development Standards:

The applicant is requesting to vary from the following section(s):

1. Sec. 504.D. – Minimum Front Yard Depth: 100'.

Considerations of a Variance Request:

Section 411 of the UDO lists the following considerations for the granting of a variance application:

1. The hardship cannot be self-created such as:
 - A. A lot purchased with knowledge of an existing restriction.
There is no evidence that the applicant was aware of the requirement at the time of purchase.
 - B. A claim of hardship in terms of prospective sales.
There is no evidence for a claim with respect to hardship of prospective sales.
 - C. An expressed economic need requiring a Variance, when such a need can be met in other ways, which would not require a Variance.
There is no expressed economic need.
2. The Board of Appeals shall, in granting a variance, determine that:
 - A. There are extraordinary and exceptional conditions pertaining to the particular parcel because of its size, shape, location and topography.
 - B. Application of this Ordinance to the particular parcel would create a practical difficulty or unnecessary hardship on the property owner.
 - C. Such conditions are peculiar and unique to the particular parcel.
 - D. The variance, if granted, would not cause substantial detriment to the public good

or impair the purpose and intent of this Ordinance.

- E. A literal interpretation of this Ordinance would deprive the Applicant of any rights that others owning property within the same zoning classification are allowed.
- F. The variance, if granted, shall not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties within the same zoning classification.
- G. The variance may be granted with such conditions imposed as may be necessary to protect the health, safety, welfare and general value of the property in the general neighborhood.
- H. Granting the variance shall not be based on consideration of any existing nonconforming uses on nearby parcels and no permitted use of any parcel in any other zoning classification.

- 2. Granting this variance would not cause substantial detriment to the public good nor would it impair the Spirit of this Ordinance.

Photos:

View of the property from Rehoboth Church Road.



Staff Recommendations:

Staff recommends **Approval** of this application for the following reasons:

- 1. The conditions are unique to the parcel.



SPALDING COUNTY BOARD OF ZONING APPEALS

Application #20-18S

Requesting Agency

Office of Community Development

Requested Action

Application #20-18S: Congregational Holiness Church, Owner - Anna York, Agent - 47 Mission Circle (32.68 acres, more or less, located in Land Lot 81 of the 4th Land District) - requesting a Special Exception to allow a Church, synagogue, chapel, or other place of religious worship including educational buildings, parsonage, church-related nursery or kindergarten, and other related uses meeting the development standards in the AR-1 & R-2 District.

Requirement for Board Action

Article 4. Section 413.

Is this Item Goal Related?

No

Summary and Background

The applicant has requested to construct a single-family residential to serve as a parsonage for a retired minister or minister's windowed spouse. This is a permitted use with a Special Exception permit, per Sec. 503.B.

Fiscal Impact / Funding Source

STAFF RECOMMENDATION

CONDITIONAL APPROVAL as follows:

1. The heated square footage of the house shall meet or exceed the minimum heated square footage requirement of the underlying zoning district, AR-1, which is 1500 heated square feet, with at least 1250 heated square feet on the first floor if it is a multi-story dwelling.

ATTACHMENTS:

Description	Upload Date	Type
❏ Application #20-18S	10/2/2020	Backup Material



REQUEST FOR SPECIAL EXCEPTION
APPLICATION NO. 20-185

AGENT/DEVELOPER INFORMATION

(If not owner)

Name: Anna York

Address: Same

City: _____

State: _____ Zip: _____

Phone: 404-617-7207 (cell)

Contact Person: _____

PROPERTY OWNER INFORMATION

Name: Congregational Holiness Church

Address: 3888 Fayetteville Hwy.

City: Griffin

State: GA Zip: 30223

Phone: 770-228-4833 (office)

Phone: _____

APPLICANT IS THE:

_____ Owner's Agent

☒ Property Owner

_____ Developer

Present Zoning District(s): R-2 + AR-1

Land District(s): 4th Land Lot(s): 81 Acreage: 32.68 ±

Address of Property: 47 Mission Circle

Identify the use for which you seek a Special Exception and cite the section of the Spalding County Zoning Ordinance which provides that the Special Exception may be granted:

We want to add a home to the property on the circle.
Section 503: B(1) - additional parsonage

Zoned R-2 + AR-1

OTHER REQUIRED INFORMATION

Attach a statement describing the Special Exception and the reason you are requesting this Special Exception.

Attach 1 copy (11 x 17) of plat prepared by a Registered Land Surveyor and drawn to scale showing lot lines and location of existing structures and location of proposed structures.

Some developments (i.e. subdivisions, Church's, etc.) may require a 24 x 36 copy of the plat.

Please attach a deed, certified by the Clerk of Court, which includes a metes and bounds description of the property proposed.

Signature(s):

Anna York
Agent/Developer

L Wayne Hicks
Property Owner

9-3-2020
Date

9-3-2020
Date

OFFICE USE ONLY

Date Received: 9-3-20

Amount of Fee: \$300.00

Received By: Cynthia L. McDaniel

Receipt Number: 043880

SPECIAL EXCEPTION APPLICANT'S RESPONSE

Pursuant to Section 413 of the Zoning Ordinance, the Board of Commissioners of Spalding County finds that the following standards are relevant in granting a Special Exception.

Please respond to the following standards in the space provided or use an attachment as necessary:

(A) Whether granting a Special Exception would be detrimental to the use of development of adjacent properties or the general neighborhood: No. Adjacent properties would not be affected.

(B) Whether granting a Special Exception would adversely affect the health or safety of residents or workers: No.

(C) Whether granting a Special Exception would have depreciating effects and damages to the neighboring properties that are greater than the benefits or need for the Special Exception: No

(D) Whether granting a Special Exception would adversely affect existing uses: No

(E) Whether the subject property is sufficient in size to satisfy the space requirements for the use: Yes

(F) Whether granting a Special Exception will meet the requirements of the Spalding County Ordinance: Yes

OFFICE USE ONLY

Date Received: 9-3-20

Received By: Cynthia L. McDaniel

**PROPERTY OWNER'S CERTIFICATION OF
OWNERSHIP AND ZONING COMPLIANCE**

Certification is hereby made that the undersigned own(s) at least fifty-one (51) percent of the subject property.

The undersigned certifies that the subject property is presently in compliance with the current Zoning Ordinance for Spalding County, Georgia. The undersigned is aware that an application for a Rezoning, Variance, or Special Exception will not be received unless the subject property is in compliance with the Zoning Ordinance.

The undersigned certify that the agent, if different from the owner, is authorized to file this application.

L Wayne Hicks
Print Name of Owner(s)

Anna York
Print Name of Agent, If Not Same as Owner

L Wayne Hicks
Signature of Owner(s) _____ Date _____
or Signature of Authorized Officer or Agent
(if applicable)

Anna York
Signature of Agent

Title of Authorized Officer or Agent (if applicable)

Matthew Ryan Turner
Signature of Notary Public

9-3-2020

-- -Notary Seal-- -



OFFICE USE ONLY

Date Received: 9-3-20

Received By: Cynthia L. McDonie

SITE PLAN REQUIREMENTS FOR SPECIAL EXCEPTION

Section 416: Special Exception.

A site plan meeting the requirements of Section 416 of this Ordinance shall be submitted with any application for a special exception which shall require a building permit for the purpose of commencing construction on a new structure on the property which is the subject of the special exception application; provided however, that any site plan for a special exception for a certified hardship allowed in Sections 503(D)(2-3), 603(D)(2-3), 703(D)(3-4), 803(D)(3-4), 803A(D)(3-4), 1003(D)(3-4), 1103(D)(3-4) and 1103A(D)(3-4) shall not be required to comply with the provisions of subparts (g), (i), (j), (k), (o) and (p) of Section 416.

- A. Vicinity map;
- B. Correct scale;
- C. The proposed land use and building outline as it would appear should the rezoning be approved;
- D. The present zoning classification of all adjacent property;
- E. The building outline and maximum proposed height of all buildings;
- F. The proposed location of all driveways and entry/exit points for vehicular traffic, using arrows to depict direction of movement;
- G. The location of all required off street parking and loading areas;
- H. Required yard setbacks appropriately dimensioned;
- I. The location and extent of required buffer areas, depicting extent of natural vegetation and type and location of additional vegetation, if required;
- J. Topography at twenty (20) foot contour intervals;
- K. Location and elevation of the 100 year flood plain on the property which is the subject of the proposed zoning;
- L. Delineation and dimensions of the boundary of the proposed district;
- M. Date, north arrow and datum;
- N. Location and acreage of all major utility easements greater than twenty (20) feet in width;
- O. Approximate location (outline), height, and use of all other proposed drives, parking areas, buildings, structures and other improvements;
- P. For all property for which ingress and egress must be obtained by access from a road within the state highway system, a permit from the Georgia Department of Transportation for access to the state highway system.

Spalding County Fee Schedule:

Appeal from Action of Administrative Officer: \$ 300.00

Variance: \$ 300.00

Special Exception: \$ 500.00

Multiple Parcel Rezoning: Multiple parcel rezoning of contiguous tracts will be allowed so long as all tracts are to be rezoned to the same zoning classification. All applicants owning property which is subject to the application are deemed to consent to rezoning of their property and to rezoning of any and all other tracts included within the Application. The following fees shall apply to multiple parcel rezoning applications: (#A-99-08 – 09/07/99; #A-00-11 - 07/17/00)

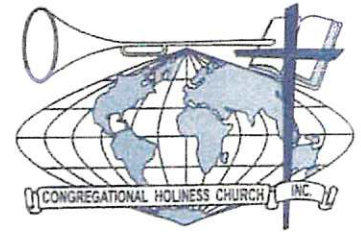
A. Parcel 1 - \$750.00

B. Parcel 2-5 - \$150.00 each, in addition to the fees stated in A; and

C. Parcels 6+ - \$100.00 each, in addition to the fees stated in A and B.

Congregational Holiness Church, Inc.

INTERNATIONAL HEADQUARTERS



Telephone
Office (770) 228-4833
Fax (770) 228-1177
1-800-633-0877
E-mail: headquarters@chchurch.com

3888 FAYETTEVILLE HWY.
GRIFFIN, GEORGIA 30223

September 3, 2020

To Whom It May Concern,

The Congregational Holiness Church is asking for a special exception to add a 1200 sq ft, two bedroom, two bath home to Mission Circle. This home will be for the widow of our deceased pastor. Mission Circle is a private road maintained by the church.

Sincerely,

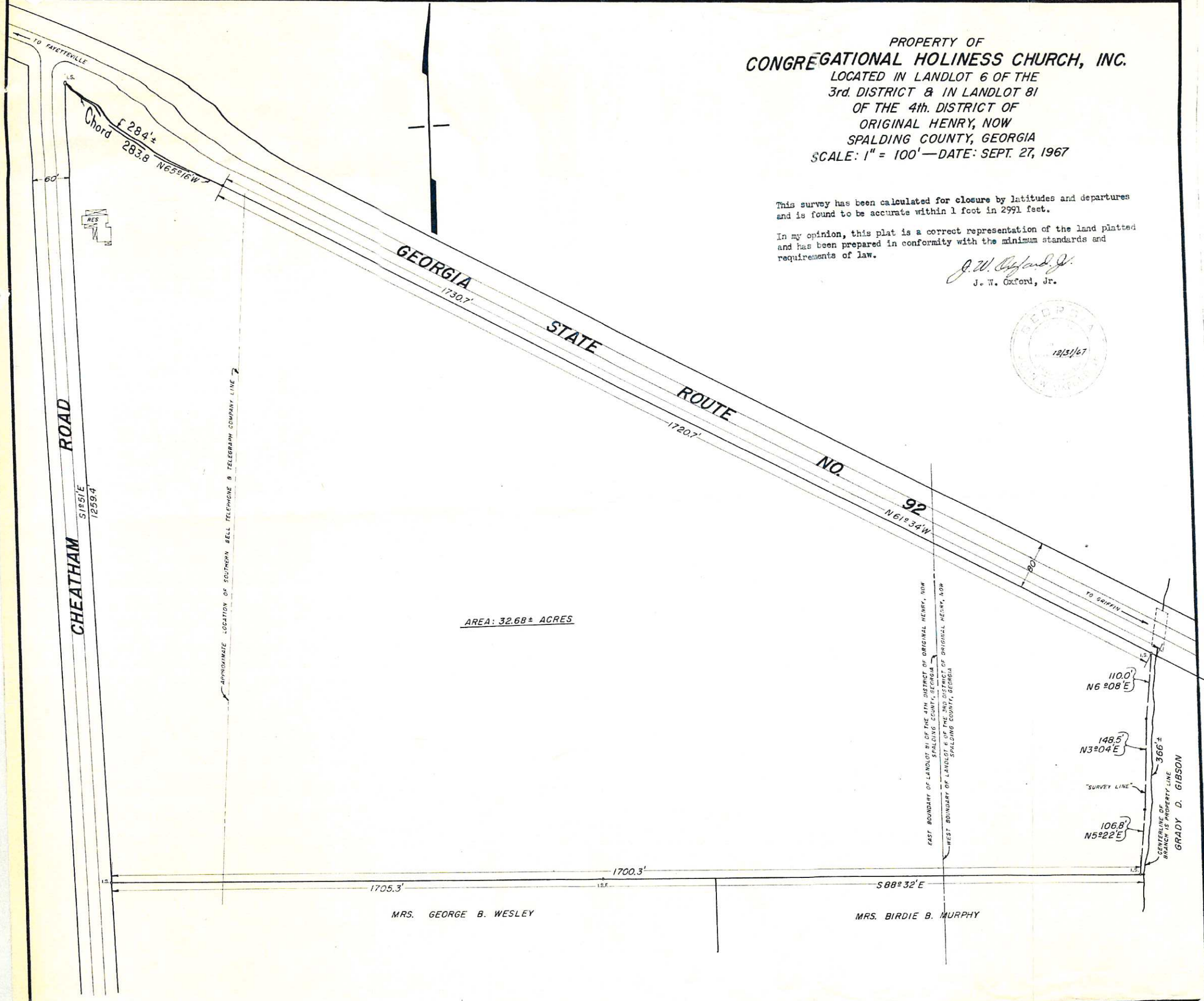
L. Wayne Hicks

L. Wayne Hicks
General Superintendent

PROPERTY OF
CONGREGATIONAL HOLINESS CHURCH, INC.
LOCATED IN LANDLOT 6 OF THE
3rd DISTRICT & IN LANDLOT 81
OF THE 4th DISTRICT OF
ORIGINAL HENRY, NOW
SPALDING COUNTY, GEORGIA
SCALE: 1" = 100' — DATE: SEPT. 27, 1967

This survey has been calculated for closure by latitudes and departures
and is found to be accurate within 1 foot in 2991 feet.
In my opinion, this plat is a correct representation of the land platted
and has been prepared in conformity with the minimum standards and
requirements of law.

J. W. Oxford, Jr.
J. W. Oxford, Jr.



State of Georgia SPALDING County.

THIS INDENTURE, Made the 15th day of April 1964, in the year of our Lord One Thousand Nine Hundred and Sixty-four between _____

TERRY CREWS

and

B. B. BLALOCK

_____ of the County of _____ of the State of _____ of the FIRST PART, and the _____ CONGREGATIONAL HOLINESS CHURCH, by and through B. B. BLALOCK, HOYT FAIR and _____ WAITON BRACK, its General Trustees and their successors, _____ Spalding _____ and _____ of the County of _____ of the SECOND PART:

WITNESSETH, That the said party of the FIRST PART, for and in consideration of the sum of One & No/100 Dollars and assumption of indebtedness hereinafter set out,

Do hereby in hand paid, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, have granted, bargained, sold, aliened, conveyed and confirmed, and by these presents, do grant, bargain, sell, alien, convey and confirm unto the said party of the SECOND PART, ~~heirs and assigns~~, all the following described property, to-wit:

All that tract or parcel of land situate, lying and being in Land Lot Eighty-one (81), of the Fourth Land District of originally Henry, now Spalding County, Georgia, containing Forty (40) acres of land, more or less, and being bounded as follows: North by the Fayetteville-Griffin Highway (Georgia State Route No. 92); East by the center line of a branch, across which lies property owned by Grady Gibson; South by land owned by Guy Wesley and by land owned by Mrs. Birdie Murphy; and West by an unpaved road known as the "Cheatham Road".

Located on said tract is one five room dwelling, together with outbuildings.

The property herein conveyed is that portion of property constituting the homeplace of David E. Ellis and lying south of the new Griffin-Fayetteville Highway, for many years.

NOTE: It is expressly understood and agreed in the execution, delivery and acceptance of this instrument that the conveyance of the above described property is made subject to a security deed from the Grantors herein to David E. Ellis dated April 15, 1964, securing an indebtedness in the amount of \$9440.00, and the Grantee herein hereby assumes and agrees to pay said indebtedness in strict accordance with the terms of the note evidencing, and the security deed securing, said indebtedness.

TO HAVE AND TO HOLD the said above granted and described property with all and singular the rights, members and appurtenances thereunto appertaining to the only proper use, benefit and behoof of the said party of the SECOND PART ~~their successors, administrators, and assigns, in FEE SIMPLE; and the said party of the FIRST PART the said bargained property above described unto the said party of the SECOND PART their heirs, executors, administrators, and assigns, against the said party of the FIRST PART their heirs, executors, administrators, and assigns, and against all and every other person or persons, shall and will and do hereby warrant and forever defend by virtue of these presents,~~

IN WITNESS WHEREOF, The said party of the FIRST PART have hereunto set ~~their~~ hand, affixed ~~their~~ seal, and delivered these presents, the day and year above written.

Signed, sealed and delivered in presence of us, the day and year above written.

John R. Hunsley
Notary Public, Spalding County,
Georgia

B. B. B. B. B. (SEAL)

Harry C. C. (SEAL)

(SEAL)

Recorded APR 15 1964 *W. S. Lindsey* Clerk



SCALE: 1"=50'

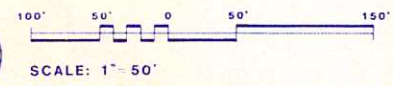
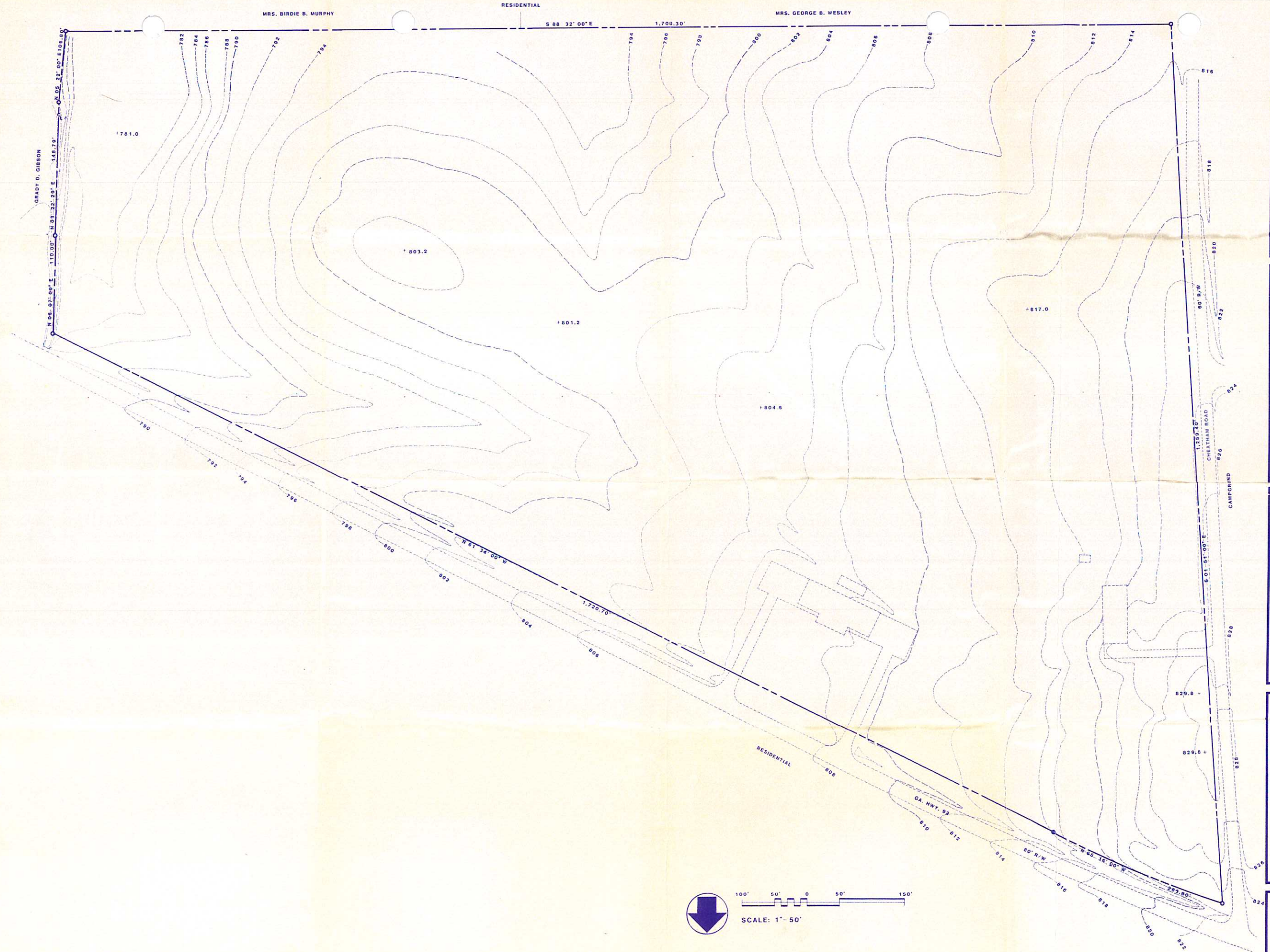


ON ORIENTED

CONGREGATIONAL
HOLINESS CHURCH, INC.
LANDLOT 6 3RD DISTRICT, SPALDING CO., GA.

PROJECT NO.	NO.	REVISION	DATE	BY
DESIGN BY				
DRAWN BY				
CHECKED BY				
DATE				
SCALE: 1"=50'				

PATTERSON ENGINEERING
1700 Mount Pleasant - Tucker, Georgia 30084 * 404-938-2100



SCALE: 1" = 50'

CONGREGATIONAL
HOLINESS CHURCH, INC.
LANDLOT 6 3RD DISTRICT, SPALDING CO., GA.

PROJECT NO.	NO.	REVISION	DATE BY
DESIGN BY:			
DRAWN BY:			
CHECKED BY:			
DATE:			

PATERSON ENGINEERING
1700 Montclair Circle • Tucker, Georgia 30084 / 404.938.2100

DRAWING NO.

SPALDING COUNTY BOARD OF APPEALS

DATE: October 8, 2020 (BoA)
DATE: October 22, 2020 (BOC)
TO: Spalding County Board of Appeals
Spalding County Board of Commissioners
FROM: Department of Community Development

RE: Special Exception Application #20-18S

The following report constitutes the assessment and evaluation by the Community Development Department staff on the above referenced application.

Identification of the Property:

Size and location:

The property is located at 3888 Fayetteville Hwy/1568 Cheatham Road, in Land Lot 81 of the 4th District of Spalding County. Property consists of a total of 32.68 acres.

Parcel #:

261-01009A

Current owner:

Congregational Holiness Church
1568 Cheatham Road
Griffin, Georgia 30223

Owner's Agent

Anna York
1568 Cheatham Road
Griffin, Georgia 30223

Development:

The applicant has requested to construct a single-family residence to serve as a parsonage for a retired minister or minister's widowed spouse. This is a permitted use with a Special Exception permit, per Sec. 503.B.

Land Use Plan:

Pursuant to the "Spalding County Comprehensive Plan, 2004-2024," as revised in December 2004, the request is consistent with the plan and associated

Future Land Use Map classification of Rural Community, except that the church does not desire to subdivide the parcel. The overall density of the proposed homes does not exceed what would be allowed under the base zoning.

Transportation:

No additional lots are proposed so no Transportation Analysis is required.

Schools:

No additional lots are proposed so no School System Analysis is required.

Wetlands/Watershed Area:

According to the plan submitted with the application no portion of this property is located within a 100-year flood zone, per map # 13255C0065D.

This site is located within an S-2 watershed area.

This site is not within any recharge areas indicated on the S-3 Ground Water Recharge Overlay Map.

Compliance with Zoning Ordinance Development Standards:

The Spalding County Unified Development Ordinance, Article 5 – AR-1, Agricultural-Residential District, Section 503 (B) states the following:

B. The following Principal Uses are permitted as Special Exceptions in AR-1 districts:

1. Church, synagogue, chapel, or other place of religious worship including educational building, parsonage, church-related nursery or kindergarten, and other related uses meeting the following development standards:

a. It must be located on either an arterial or collector road;

b. The lot must have a minimum road frontage of 200 feet;

c. The lot must have an area of at least two (2) acres.

d. All buildings must be located at least fifty (50) feet from any property line;

e. A buffer (as provided by Section 405) must be provided along all side and rear property lines.

f. "Reserved." (#A-10-02, 05-03-10)

g. No additional approval shall be required for the expansion or modification of any facility, as defined in this Section, which existed as of January 4, 1994 on the property on which it is presently located. (#A- 00-09, 06-05-00)

Special Exception Guidelines

Spalding County Unified Development Ordinance, Section 413, Subsection G states as follows:

The Board of Appeals will consider the following points in arriving at a decision on the Special Exception:

1. It must not be detrimental to the use or development of adjacent properties, or to the general neighborhood; it must not adversely affect the health or safety of residents or workers.

This request will not be detrimental to the use or development of adjacent properties.

2. It must not be that any possible depreciating effects and damages to the neighboring properties are greater than the benefits or need for the Special Exception. It must not adversely affect existing uses, and it must be proposed to be placed on a lot of sufficient size to satisfy the space requirement of the use.

There should be no depreciating effects created by allowing the construction of an additional parsonage home.

3. It must meet all other requirements of this Ordinance.

The request meets all other requirements of this ordinance.

Photos:



View of the property from Cheatham Road.

Staff Recommendations:

Staff recommends **Approval** of this application for the following reasons:

1. Granting this variance would not cause substantial detriment to the public good nor would it impair the Spirit of this Ordinance.
2. There are no anticipated depreciating effects.
3. The request meets all other requirements of the ordinance.

Recommended Conditions:

Staff recommends the following conditions

1. The heated square footage of the house shall meet or exceed the minimum heated square footage requirement of the underlying zoning district, AR-1, which is 1500 heated square feet, with at least 1250 heated square feet on the first floor if it is a multi-story dwelling.



SPALDING COUNTY BOARD OF ZONING APPEALS Application #20-19S

Requesting Agency

Office of Community Development

Requested Action

Application #20-19S: First Assembly of God, Griffin, Ga., Inc, Owner - Cheryl Fields, Agent - 2000 West McIntosh Road (92.043 acres located in Land Lot(s) 66, 67, 94 & 95 of the 3rd Land District) - requesting a Special Exception to allow a Church, synagogue, chapel, or other place of religious worship including educational buildings, parsonage, church-related nursery or kindergarten, and other related uses meeting development standards in the R-2 District.

Requirement for Board Action

Article 4. Section 413.

Is this Item Goal Related?

No

Summary and Background

The applicant has requested to construct 4 2-unit Residence Dorms for their School of Ministry. This is a permitted use with a Special Exception permit, per Sec. 803.B.

Fiscal Impact / Funding Source

STAFF RECOMMENDATION

APPROVAL.

ATTACHMENTS:

Description	Upload Date	Type
<input type="checkbox"/> Application #20-19S	10/1/2020	Cover Memo



REQUEST FOR SPECIAL EXCEPTION
APPLICATION NO. 20-195

AGENT/DEVELOPER INFORMATION

(If not owner)

Name: Cheryl Fields

Address: ~~2000~~ 404 Beacon Ct.

City: GRIFFIN

State: GA Zip: 30223

Phone: (770) 616-5344

Contact Person: Self

PROPERTY OWNER INFORMATION

Cheryl Fields for

Name: First Assembly of God of Griffin GA, Inc.

Address: 2000 West McIntosh Rd

City: Griffin

State: GA Zip: 30223

Phone: 770-228-2307 x104

Phone: 770-616-5344 (cell)

APPLICANT IS THE:

____ Owner's Agent

☒ Property Owner

____ Developer

Present Zoning District(s): R-2

Land District(s): ~~64103~~ 3rd Land Lot(s): 66, 67, 94 & 95 Acreage: 92.043

Address of Property: 2000 West McIntosh Rd, Griffin, GA 30223

Identify the use for which you seek a Special Exception and cite the section of the Spalding County Zoning Ordinance which provides that the Special Exception may be granted: Section 803: B(1)

We would like to build a total of 4 2 unit duplex
type residential homes for our School of ministry.
Two 2-unit buildings would be built immediately for
occupancy in July/August 2021. Two would be
built as needed as the school grows.

OTHER REQUIRED INFORMATION

Attach a statement describing the Special Exception and the reason you are requesting this Special Exception.

Attach 1 copy (11 x 17) of plat prepared by a Registered Land Surveyor and drawn to scale showing lot lines and location of existing structures and location of proposed structures.

Some developments (i.e. subdivisions, Church's, etc.) may require a 24 x 36 copy of the plat.

Please attach a deed, certified by the Clerk of Court, which includes a metes and bounds description of the property proposed.

Signature(s):

Cheryl Fields
Agent/Developer

9/3/2020
Date

Cheryl S. Fields
Property Owner

9/3/2020
Date

FOR FIRST ASSEMBLY OF GOD, INC.

OFFICE USE ONLY

Date Received: 9.3.20

Amount of Fee: \$500.00

Received By: Cynthia L. McDowell

Receipt Number: 043881

SPECIAL EXCEPTION APPLICANT'S RESPONSE

Pursuant to Section 413 of the Zoning Ordinance, the Board of Commissioners of Spalding County finds that the following standards are relevant in granting a Special Exception.

Please respond to the following standards in the space provided or use an attachment as necessary:

(A) Whether granting a Special Exception would be detrimental to the use of development of adjacent properties or the general neighborhood: We do not see how this would be detrimental to anyone.

(B) Whether granting a Special Exception would adversely affect the health or safety of residents or workers: NO

(C) Whether granting a Special Exception would have depreciating effects and damages to the neighboring properties that are greater than the benefits or need for the Special Exception: no there should not be any

(D) Whether granting a Special Exception would adversely affect existing uses: no. we can still fully conduct all other uses.

(E) Whether the subject property is sufficient in size to satisfy the space requirements for the use: yes it is more than sufficient

(F) Whether granting a Special Exception will meet the requirements of the Spalding County Ordinance: yes we will ensure that all ordinances are adhered to.

OFFICE USE ONLY

Date Received: 9-3-20

Received By: Cynthia L. McDaniel

**PROPERTY OWNER'S CERTIFICATION OF
OWNERSHIP AND ZONING COMPLIANCE**

Certification is hereby made that the undersigned own(s) at least fifty-one (51) percent of the subject property.

The undersigned certifies that the subject property is presently in compliance with the current Zoning Ordinance for Spalding County, Georgia. The undersigned is aware that an application for a Rezoning, Variance, or Special Exception will not be received unless the subject property is in compliance with the Zoning Ordinance.

The undersigned certify that the agent, if different from the owner, is authorized to file this application.

First Assembly of God of Cheryl Fields, CFO
Print Name of Owner(s) Cheryl Fields, CFO Print Name of Agent, If Not Same as Owner
FOR FIRST ASSEMBLY OF GOD, INC. Inc
Cheryl Fields Cheryl Fields
Signature of Owner(s) Date Signature of Agent
or Signature of Authorized Officer or Agent
(if applicable)

CFO
Title of Authorized Officer or Agent (if applicable)

Morgan Seigler 9/3/20
Signature of Notary Public Date



OFFICE USE ONLY

Date Received: 9.3.20

Received By: Cynthia L. McDaniel

SITE PLAN REQUIREMENTS FOR SPECIAL EXCEPTION

Section 416: Special Exception.

A site plan meeting the requirements of Section 416 of this Ordinance shall be submitted with any application for a special exception which shall require a building permit for the purpose of commencing construction on a new structure on the property which is the subject of the special exception application; provided however, that any site plan for a special exception for a certified hardship allowed in Sections 503(D)(2-3), 603(D)(2-3), 703(D)(3-4), 803(D)(3-4), 803A(D)(3-4), 1003(D)(3-4), 1103(D)(3-4) and 1103A(D)(3-4) shall not be required to comply with the provisions of subparts (g), (i), (j), (k), (o) and (p) of Section 416.

- A. Vicinity map;
- B. Correct scale;
- C. The proposed land use and building outline as it would appear should the rezoning be approved;
- D. The present zoning classification of all adjacent property;
- E. The building outline and maximum proposed height of all buildings;
- F. The proposed location of all driveways and entry/exit points for vehicular traffic, using arrows to depict direction of movement;
- G. The location of all required off street parking and loading areas;
- H. Required yard setbacks appropriately dimensioned;
- I. The location and extent of required buffer areas, depicting extent of natural vegetation and type and location of additional vegetation, if required;
- J. Topography at twenty (20) foot contour intervals;
- K. Location and elevation of the 100 year flood plain on the property which is the subject of the proposed zoning;
- L. Delineation and dimensions of the boundary of the proposed district;
- M. Date, north arrow and datum;
- N. Location and acreage of all major utility easements greater than twenty (20) feet in width;
- O. Approximate location (outline), height, and use of all other proposed drives, parking areas, buildings, structures and other improvements;
- P. For all property for which ingress and egress must be obtained by access from a road within the state highway system, a permit from the Georgia Department of Transportation for access to the state highway system.

Spalding County Fee Schedule:

Appeal from Action of Administrative Officer: \$ 300.00

Variance: \$ 300.00

Special Exception: \$ 500.00

Multiple Parcel Rezoning: Multiple parcel rezoning of contiguous tracts will be allowed so long as all tracts are to be rezoned to the same zoning classification. All applicants owning property which is subject to the application are deemed to consent to rezoning of their property and to rezoning of any and all other tracts included within the Application. The following fees shall apply to multiple parcel rezoning applications: (#A-99-08 – 09/07/99; #A-00-11 - 07/17/00)

A. Parcel 1 - \$750.00

B. Parcel 2-5 - \$150.00 each, in addition to the fees stated in A; and

C. Parcels 6+ - \$100.00 each, in addition to the fees stated in A and B.



Special Exception Statement:

We would like to build a total of four 2-unit duplex-type residential dorms for our school of ministry. Two 2-unit buildings would be built immediately for occupancy in July/August 2021. Two 2-unit buildings would be built as needed as the school grows.

A handwritten signature in black ink that reads "Cheryl D. Fields".

Cheryl Fields
CFO
Griffin First Assembly

Recorded July 31, 1987



Myrtle F. Peoples
Clark

Drawing No. B74443

See Materialman's Lien - Book 2351, Pg. 339
 See Materialman's Lien - Book 2351, Pg. 342
 See Materialman's Lien - Book 2371, Pg. 343

Smalley, Cogburn and Flynn, P.C.
 Attorneys at Law
 Griffin, Georgia

BOOK 893 PAGE 129

Warranty Deed

STATE OF GEORGIA
 Spalding County.

THIS INDENTURE, Made this 30th day of July, in the year One Thousand Nine Hundred and eighty-seven, between

H. Ray Simonton

of the County of Spalding and State of Georgia, Grantor and First Assembly of God, Griffin, Ga., Inc. and its elected Board of Trustees and their successors in interest of the County of Spalding and State of Georgia, Grantee

WITNESSETH, That the said Grantor, for and in consideration of

In hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, ha granted, bargained, sold, and conveyed, and by these presents do grant, bargain, sell and convey unto the said Grantee, heirs and assigns, the following described property, to wit:

All that lot, tract or parcel of land situate, lying and being in Land Lots 66, 67, 94 and 95 of the Third District of originally Henry, now Spalding County, Georgia, more particularly shown and designated on a plat of survey entitled, "Survey for First Assembly of God, Inc." by Griffin Engineering Company, dated July 24, 1987 and recorded in Plat Book 17, page 175, Spalding Superior Court records. The metes, bounds, courses and distances as shown on said plat are incorporated herein by reference and made a part hereof.

The above described tract contains 92.043 acres.

NOTE: Grantor does not warrant the title to that portion of the above described property designated on the plat as containing 0.42 acres which land is claimed by Mr. Henry Jackson, according to the plat.

The purpose of this deed is to correct the designation of the Grantee found in that Warranty Deed from H. Ray Simonton to First Assembly of God of Griffin, Ga., Inc., dated July 30, 1987 and recorded at Deed Book 858, page 308 in the records of the Clerk of the Superior Court of Spalding County, Georgia, so as to place title into the above-named Grantees in accordance with the constitution and by-laws of said Grantee. No additional consideration has been paid by the Grantees.

TO HAVE AND TO HOLD the said bargained premises, together with all and singular the rights, members, and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of First Assembly of God, the said Grantee S, heirs and assigns, forever, in FEE SIMPLE. Griffin, Ga., Inc. and its elected Board of Trustees

And the said Grantor, for his heirs, executors, and administrators, will warrant and forever defend the right and title of the above described property unto the said Grantee S heirs and assigns, against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor ha s hereunto set his hand and affixed his seal, the date first above written.

Signed, sealed and delivered in the presence of



Stanley R. Sullivan

H. Ray Simonton (L.S.)

(L.S.)

RECORDED MAY 9 1988 Myrtle J. Peoples, Clerk

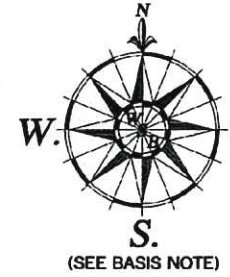
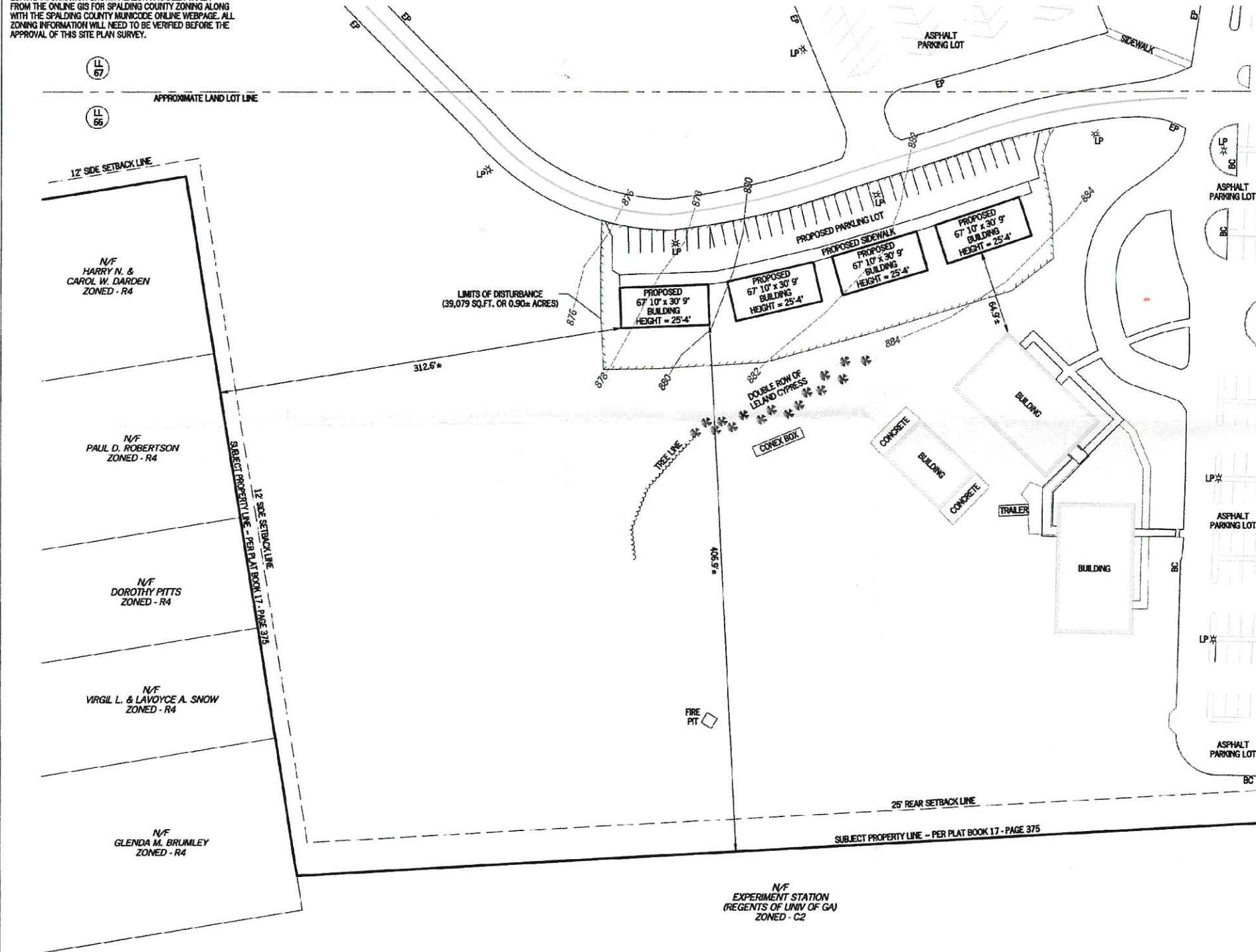
SUBJECT PROPERTY

OWNER: FIRST ASSEMBLY OF GOD GRIFFIN GA INC (PER TAX ASSESSOR)
SITE ADDRESS: 2000 WEST MCINTOSH ROAD, GRIFFIN, GEORGIA 30223
AREA: 92.043 ACRES+ (PER PG 17 - PG 375)
PARCEL #248001003
REFERENCE: PLAT BOOK 17 - PAGE 375

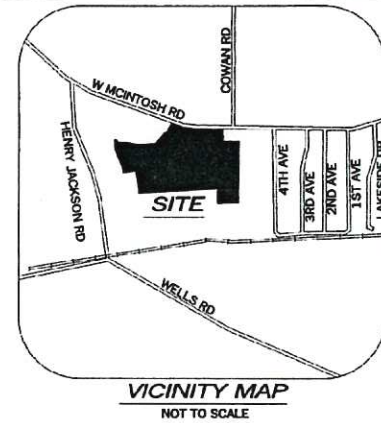
ZONING NOTES

R2 SINGLEFAMILY RESIDENTIAL DISTRICT
- MINIMUM FRONT YARD SETBACK: 70 FEET
- MINIMUM SIDE YARD SETBACK: 12 FEET
- MINIMUM REAR YARD SETBACK: 25 FEET

ZONING INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM THE ONLINE GIS FOR SPALDING COUNTY ZONING ALONG WITH THE SPALDING COUNTY MAINTENANCE ONLINE WEBSITE. ALL ZONING INFORMATION WILL NEED TO BE VERIFIED BEFORE THE APPROVAL OF THIS SITE PLAN SURVEY.



(SEE BASIS NOTE)



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, OR RIGHTS-OF-WAY NOT SHOWN HEREON.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA GEOMAX ROBOTIC (DATE OF LAST FIELD VISIT: SEPTEMBER 11, 2020)

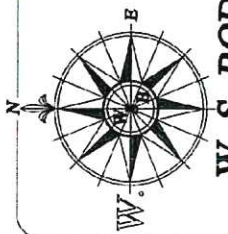
THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 32,476 FEET AND AN ANGULAR ERROR OF 0.05" PER ANGLE POINT AND WAS NOT ADJUSTED.

THE BASIS FOR THE DIRECTIONS SHOWN HEREON IS: REFERENCE NORTH (PG 17 - PG 375)

THE BASIS FOR THE ELEVATION SHOWN HEREON IS: GRID NORTH AS DEFINED BY NAD 83 DATUM, GEORGIA WEST ZONE AND DETERMINED THROUGH RTK-GPS METHODS UTILIZING A GNSS REAL TIME NETWORK SOLUTION. BY W.S. BODKIN SURVEYING.

NO NGS MONUMENT LOCATED WITHIN 500' OF SITE.

THE BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM PLAT BOOK 17 - PAGE 375; AND HAS BEEN USED VIA MEANS OF SUPPLEMENTAL FIELD VERIFICATION, WHICH IN NO WAY CONSTITUTES A BOUNDARY CERTIFICATION OR WARRANTY OF BOUNDARY INFORMATION BY THIS SURVEYOR.



315 CASTLEWOOD RD.
TYRONE, GA 30290
770-312-5500
W. S. BODKIN SURVEYING, L.L.C.

SITE PLAN SURVEY FOR:

GRIFFIN FIRST ASSEMBLY
CHURCH OF GOD

LAND LOT 66 3RD DISTRICT SPALDING COUNTY, GA



PURPOSE NOTE

THE PURPOSE OF THIS SURVEY IS TO PROVIDE THE OWNER/COUNTY WITH A SITE PLAN SURVEY FOR THE PURPOSE OF BUILDING 4 NEW DORMITORIES. NO EROSION CONTROL MEASURES NEEDED PER COUNTY CHECKLIST FOR SITE PLAN FOR SPECIAL EXCEPTIONS.

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE IN CONTRASTING INK OF SURVEYOR.

RECORDING NOTE

SHOULD NOT BE RECORDED WITH THE SPALDING COUNTY CLERK OF SUPERIOR COURT IN CURRENT FORM WITH SITE PLAN SURVEY INFORMATION SHOWN.

BOUNDARY NOTE

THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THE BOUNDARY INFORMATION SHOWN HEREON WAS PERFORMED BY OTHERS. PLEASE SEE GENERAL NOTES FOR DETAILS.

THIS SURVEY DOES NOT MEET "MINIMUM STANDARDS OF PROPERTY BOUNDARY SURVEYS" AND MERELY REPRESENTS CONDITIONS FOUND ONSITE AT THE TIME OF SURVEY.

LEGEND

N/F NOW OR FORMERLY
IPF IRON PIN FOUND
PB PLAT BOOK
DB DEED BOOK
PG PAGE
EP EDGE OF PAVEMENT
LP LIGHT POLE
LL LAND LOT

PROVERBS 22:28
REMOVE NOT THE ANCIENT LANDMARK
WHICH YOUR FATHERS HAVE SET.

DEUTERONOMY 27:17
"CURSED BE HE WHO REMOVES HIS NEIGHBOR'S LANDMARK.
AND ALL THE PEOPLE SAY, 'AMEN'."

SPALDING COUNTY BOARD OF APPEALS

DATE: October 8, 2020 (BOA)
DATE: October 22, 2020 (BOC)
TO: Spalding County Board of Appeals
Spalding County Board of Commissioners
FROM: Department of Community Development
RE: Special Exception Application #20-19S

The following report constitutes the assessment and evaluation by the Community Development Department staff on the above referenced application.

Identification of the Property:

Size and location:

The property is located at 2000 West McIntosh Road, in Land Lots 66, 67, 94 and 95 of the 3rd District of Spalding County. Property consists of a total of 92.04 acres.

Parcel #:

248D-01003

Current owner:

First Assembly of God Griffin GA Inc
2000W McIntosh Road
Griffin, Georgia 30223

Owner's Agent

Cheryl Fields
2000 W McIntosh Road
Griffin, Georgia 30223

Development:

The applicant has requested to construct 4 2-unit Residence Dorms for their School of Ministry. This is a permitted use with a Special Exception permit, per Sec. 803.B.

Land Use Plan:

Pursuant to the "Spalding County Comprehensive Plan, 2004-2024," as revised in December 2004, the request is inconsistent with the plan and associated

Future Land Use Map classification of Rural Community.

Transportation:

No additional lots are proposed so no Transportation Analysis is required.

Schools:

No additional lots are proposed so no School System Analysis is required.

Wetlands/Watershed Area:

According to the plan submitted with the application no portion of this property is located within a 100-year flood zone, per map # 13255C0065D.

This site is located within an S-2 watershed area.

This site is not within any recharge areas indicated on the S-3 Ground Water Recharge Overlay Map.

Compliance with Zoning Ordinance Development Standards:

The Spalding County Unified Development Ordinance, Article 8 – R-2, Single Family Residential District, Section 803 (B) states the following:

B. The following Principal Uses are permitted as Special Exceptions in R-2 districts:

1. Church, synagogue, chapel, or other place of religious worship including educational buildings, parsonage, church-related nursery or kindergarten, and other related uses meeting the following development standards:
 - a. It must be located on either an arterial or collector road;
 - b. The lot must have a minimum road frontage of 200 feet;
 - c. The lot must have an area of at least four (4) acres.
 - d. All buildings must be located at least fifty (50) feet from any property line;

e. A buffer (as provided by Section 405) must be provided along all side and rear property lines.

f. "Reserved." (#A-10-02, 05-03-10)

g. No additional approval shall be required for the expansion or modification of any facility, as defined in this Section, which existed as of January 4, 1994 on the property on which it is presently located. (#A- 00-09, 06/05/00)

Special Exception Guidelines

Spalding County Unified Development Ordinance, Section 413, Subsection G states as follows:

The Board of Appeals will consider the following points in arriving at a decision on the Special Exception:

1. It must not be detrimental to the use or development of adjacent properties, or to the general neighborhood; it must not adversely affect the health or safety of residents or workers.

This request will not be detrimental to the use or development of adjacent properties.

2. It must not be that any possible depreciating effects and damages to the neighboring properties are greater than the benefits or need for the Special Exception. It must not adversely affect existing uses, and it must be proposed to be placed on a lot of sufficient size to satisfy the space requirement of the use.

There should be no depreciating effects created by allowing the construction of an additional parsonage home.

3. It must meet all other requirements of this Ordinance.

The request meets all other requirements of this ordinance.



View of the property from West McIntosh Road.

Staff Recommendations:

Staff recommends **Approval** of this application for the following reasons:

1. Granting this variance would not cause substantial detriment to the public good nor would it impair the Spirit of this Ordinance.
2. There are no anticipated depreciating effects.
3. The request meets all other requirements of the ordinance.

Photos:



SPALDING COUNTY BOARD OF ZONING APPEALS Approval of September 10, 2020 Minutes

Requesting Agency

Office of Community Development

Requested Action

Consider approval of September 10, 2020 minutes.


Requirement for Board Action

Is this Item Goal Related?

Summary and Background

Fiscal Impact / Funding Source

STAFF RECOMMENDATION**ATTACHMENTS:**

Description	Upload Date	Type
 Minutes 09-10-20 BOA	10/1/2020	Backup Material

SPALDING COUNTY APPEALS BOARD
Regular Meeting
September 10, 2020

The Spalding County Appeals Board held its regular monthly meeting on September 10, 2020 at 7:00 P.M. in Room 108 of the Spalding County Courthouse Annex. Members present were Ed Brown, Chair, presiding; Patricia McCord; Billy Slaughter; and Robert Paul Peurifoy. Absent was Tangela Williams.

Also present were William P. Wilson, Jr., Spalding County Manager; Newton Galloway, Zoning Attorney; and Teresa Watson to record the minutes.

Mr. Brown called the meeting to order and invited those who might wish to speak on any of the applications, but were not the applicants, to come forward and sign the request form.

A. Call to Order Note: Persons desiring to speak must sign in for the appropriate application. When called, speakers must state their names and addresses and direct all comments to the Board only. Speakers will be allotted three (3) minutes to speak on their chosen topics and relate to matters pertinent to the jurisdiction of the Board of Zoning Appeals. No questions will be asked by any of the commissioners during citizen comments. Outbursts from the audience will not be tolerated. Common courtesy and civility are expected at all times during the meeting.

B. New Business:

- 1. Application #20-12S:** Pilkenton-Murray, LLC, Owner – 1027 Waverly Drive (0.752 acre located in Land Lot 170 of the 2nd Land District) – requesting a Special Exception to revise condition of special exception to reduce the minimum lot size in the R-1 District.

Mr. Galloway explained the first two applications, #20-12S and #20-13S, for 1027 Waverly Drive and 1029 Waverly Drive respectively. The applicant has requested to reduce the minimum lot area requirement in the R-1 zoning district with a Special Exception for Country Club Subdivision from 0.75 acres to 0.649 acre in order to remove part of a detention pond from the lot. The detention pond will be deeded to the Flint Mill Homeowners' Association for maintenance.

Because it is preferable that detention ponds, or portions of detention ponds, are not on individual residential lots, staff recommended that the developer separate the pond from the lots and deed the pond to the subdivision's homeowners' association. This request does not change the functionality of the lot, either in terms of where the house will be located or in the area available for the septic system. It simply removes the pond from the lot, so an individual is not responsible for maintenance and upkeep of the detention pond. It will not alter the original approved density or layout of the development. Staff recommends approval of Application #20-12S as presented.

Mr. Niles Murray, 1016 Waverly Drive, Griffin noted one correction in that there will be no septic tanks. This entire subdivision is on sewer with nothing on septic systems.

Motion/second by Mr. Peurifoy/Mr. Slaughter to approve Application #20-12S as presented carried by a vote of 4-0.

2. **Application #20-13S:** Pilkenton-Murray, LLC, Owner – 1029 Waverly Drive (0.775 acre located in Land Lot 170 of the 2nd Land District) – requesting a Special Exception to revise condition of special exception to reduce the minimum lot size in the R-1 District.

As discussed in the previous application's discussion, the applicant has requested to reduce the minimum lot area requirement in the R-1 zoning district with a Special Exception for Country Club Subdivision from 0.75 acres to 0.649 acre in order to remove part of a detention pond from the lot. The detention pond will be deeded to the Flint Mill Homeowners' Association for maintenance.

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Motion/second by Ms. McCord/Mr. Slaughter to approve Application #20-13S as presented carried by a vote of 4-0. Mr. Galloway noted the applications.

3. **Application #20-14V:** Nicole Dolly Maryann Arnold – Owner - 390 Hosannah Road (2.932 acres located in Land Lot 215 of the 3rd Land District) – requesting a Variance to extend or alter a non-conforming use in the AR-1 District.

Ms. Nicole Arnold, 390 Hosannah Road, Griffin, said the house had belonged to her mother who passed away last year, and they need to make these adjustments to accommodate her family. Mr. Galloway detailed the request. The applicant is requesting to vary from Section 403:B of the Unified Development Ordinance (UDO) which states: A non-conforming use shall not be extended or altered unless the extension or alteration is in conformance with the requirements of this Ordinance. The property is zoned AR-1. The applicant is requesting a permit to make an addition to the home to add 1000 heated square feet (SF), which will result in a total house size of 2233 heated SF.

Staff recommends conditional approval as follows:

1. If the existing structure is ever replaced, outside of catastrophic loss or damage, any new structure must conform to the minimum house size and setback requirements in place at the time of the new construction.

Motion/second by Mr. Peurifoy/Ms. McCord to approve Application #20-14V with the noted condition carried by a vote of 4-0.

4. **Application #20-15S:** James F. Dallas – Owner – Phassion Dallas, Agent – 620 Northside Drive (.3 acre located in Land Lot 159 of the 3rd Land District) – requesting a Special Exception to allow a general home occupation in the C-2 District.

Applicant has withdrawn Application #20-15S.

C. Approval of the Minutes of the August 13, 2020 meeting.

Motion/second by Ms. McCord/Mr. Slaughter to approve Minutes of the August 13, 2020 meeting as presented carried by a vote of 4-0.

Mr. Wilson provided an update on Debbie Bell, Community Development Director. She had a 4- hour surgery yesterday and would most likely be out for the next three weeks. It's hard these days to be in any hospital where you cannot have visitors. She has been moved to a regular room. They will try to deal with some infection and then schedule visits with her oncologist. She sounded good over the phone and expressed concern for the meeting tonight, so keep her in thoughts and prayers.

D. Adjournment.

Motion/second by Ms. McCord/Mr. Peurifoy to adjourn at 7:20 p.m. carried by a vote of 4-0.

Respectfully submitted,

Ed Brown, Chairman

Teresa A. Watson, Recording Secretary